

CLIVE WILKINSON ARCHITECTS
 6116 Washington Boulevard
 Culver City, California 90232
 +1 310 358 2200 www.clivewilkinson.com

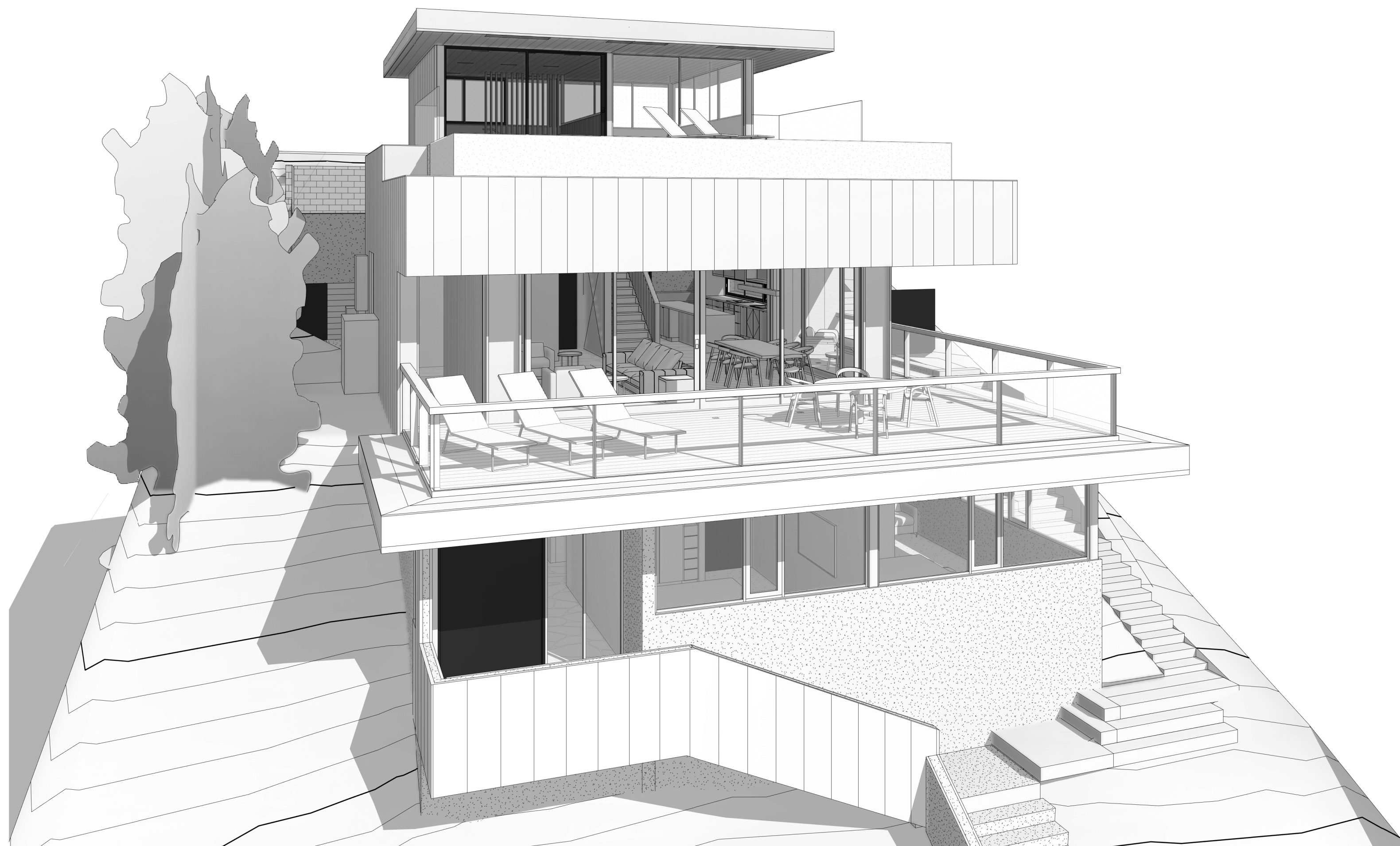
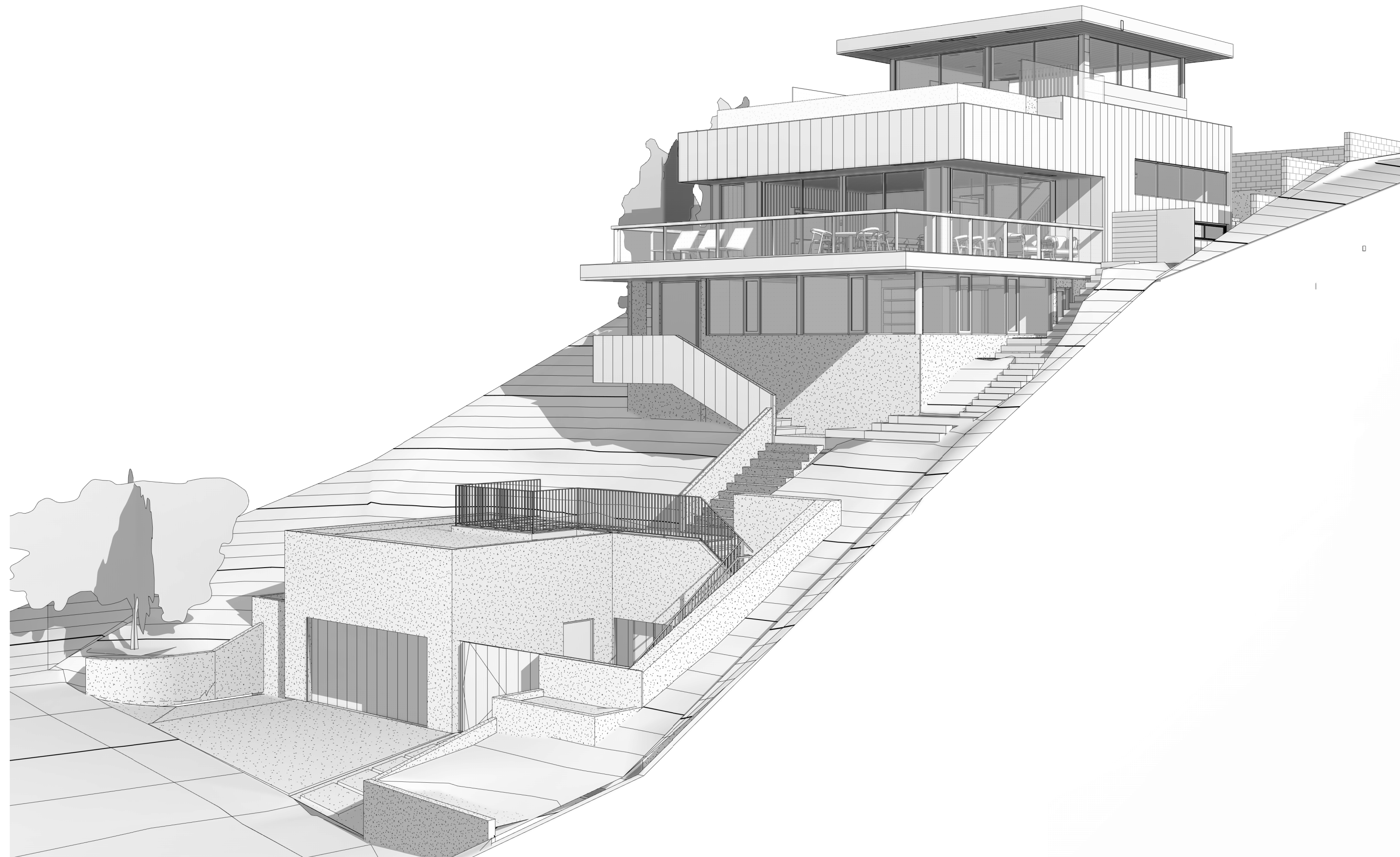
PLAYA DEL REY HOUSE

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The drawings and specifications and designs represented hereby are and shall remain the property of the Architect, and no part thereof shall be used or reproduced for any purpose other than the specified project for which they have been prepared and developed without the written consent of the Architect. Written dimensions shall have precedence over scaled dimensions. The Contractor shall verify and be responsible for all dimensions and conditions on the jobsite and report any discrepancies to the Architect.
 The drawings and specifications indicate the general scope of work and required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

ISSUES DATE

REVISION LIST DATE



PLAYA DEL REY HOUSE

206 E. MONTREAL ST
 PLAYA DEL REY, CA 90293

KEYPLAN

PROJECT NO.: 2225
 DATE: 220727
 SCALE:

SHEET TITLE:

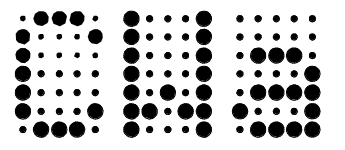
COVER SHEET

SHEET NO:

A000

DESIGN DEVELOPMENT

4/4/2023 5:40:00 PM



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PLAYA DEL REY HOUSE

206 E. MONTREAL ST
 PLAYA DEL REY, CA 90293

KEYPLAN

PROJECT NO.: 2225
 DATE: 220727
 SCALE:

SHEET TITLE:

PROJECT INFO, SHEET INDEX

SHEET NO:

A001

DESIGN DEVELOPMENT

SHEET INDEX

SHEET NO.	SHEET NAME
A000	COVER SHEET
A001	PROJECT INFO, SHEET INDEX
A004	GENERAL NOTES, ABBREVIATIONS, SYMBOLS
A050	SURVEY
A051	PREVAILING SETBACK STUDY
A101	SITE PLAN
A103	SITE DEMO PLANS
A110	SITE SECTIONS
A111	GARAGE CONSTRUCTION PLAN
A112	2ND STORY CONSTRUCTION PLAN
A113	3RD STORY CONSTRUCTION PLAN
A114	ROOF PLAN
A201	BUILDING ELEVATIONS
A202	BUILDING ELEVATIONS
A301	SECTIONS
A302	SECTIONS
A303	SECTIONS
C1	TITLE SHEET AND GENERAL NOTES
C2	PRECISE GRADING PLAN - GARAGE LEVEL
C2.1	PRECISE GRADING PLAN - UPPER LEVEL
C2.2	CROSS SECTIONS

PARCEL DATA

ADDRESS/LEGAL INFORMATION:
 ADDRESS: 206 E MONTREAL ST, PLAYA DEL REY, CA 90293
 ASSESSOR'S PARCEL #: 4116013018
 LOT AREA: 6,949.9 SF
 TRACT: TR 8557
 MAP REFERENCE: MB 103-1/3 (SHTS 1-3)
 BLOCK: 18
 LOT: 14
 MAP SHEET: 096B149

PLANNING AND ZONING:
 ZONING: R1-1
 GENERAL PLAN USE: LOW RESIDENTIAL
 HILLSIDE AREA: NO
 SPECIFIC PLAN AREA: COASTAL BLUFFS
 COASTAL ZONE: DUAL PERMIT JURISDICTION
 VHFHSZ: NO
 METHANE HAZARD ZONE: METHANE ZONE
 SPECIAL GRADING AREA: YES

PROJECT TEAM LIST

ARCHITECT:
 CLIVE WILKINSON ARCHITECTS
 6116 WASHINGTON BLVD.
 CULVER CITY, CA 90232
 T: (310) 358-2200

STRUCTURAL ENGINEER:
 PARKER RESNICK STR. ENG.
 1927 PONTIUS AVE
 LOS ANGELES, CA, 90025
 T: (310) 478-8372

OWNER:
 ANDREA SNOW
 206 E. MONTREAL ST.
 LOS ANGELES, CA 90293

GEOTECHNICAL:
 FEFFER GEOLOGICAL CONSULTING
 1990 S. BUNDY DRIVE, SUITE 400
 LOS ANGELES, CA 90025
 T: (310) 207-5048

GENERAL CONTRACTOR:
 TBD

SURVEYOR:
 BECKER AND MIYAMOTO, INC.
 5601 W. WASHINGTON BLVD
 LOS ANGELES, CA 90016
 T: (323) 592-3589

MEP
 HARITON ENGINEERING, INC
 456 E. ORANGE GROVE, SIUTE 301
 PASADENA, CA 91104
 T: (626) 449-4223

LIGHTING:
 LIGHTING WORKSHOP
 20 JAY ST, SIUTE 504
 BROOKLYN, NY 11201
 T: (212) 796-6510 X1

LANDSCAPE:
 GS LANDSCAPE ARCHITECTURE STUDIO
 P.O BOX 66576
 LOS ANGELES, CA 90066
 T: (310) 904-6199

CIVIL:
 C.W. HOWE PARTNERS INC.
 4358 SEPULVEDA BLVD
 CULVER CITY, CA 90230
 T: (310) 838-0383

PROJECT INFO

PROJECT DESCRIPTION:
 DEMOLITION OF EXISTING 2-STORY SFD AND DETACHED GARAGE FOR NEW 3-STORY SFD, DETACHED 2-CAR GARAGE, 2 RETAINING WALLS, AND POOL.

SEPARATE PERMIT REQUIRED FOR:
 PV SOLAR
 POOL

HEIGHT LIMIT:
 HEIGHT OF SFD: 44'-10"
 HEIGHT OF DETACHED GARAGE: 14'-0"
 MAXIMUM HEIGHT ENVELOPE: 45'-0"

SETBACK CALCULATIONS:
 SFD:
 FRONT YARD SETBACK: 2'-1" (PREVAILING)
 REAR YARD SETBACK: 15'-0"
 SIDE YARD SETBACK: 6'-0"
 DETACHED GARAGE:
 FRONT SETBACK: 5'-0"
 SIDE SETBACK: 5'-0"

LOT COVERAGE:
 TOTAL LOT COVERAGE: **2,679 SF (38.5%)**
 ALLOWABLE LOT COVERAGE (40%): 6,949.9 SF x 0.4 = **2,780 SF**

PARKING SUMMARY:
 (2) SPACES REQUIRED, (2) SPACES PROVIDED

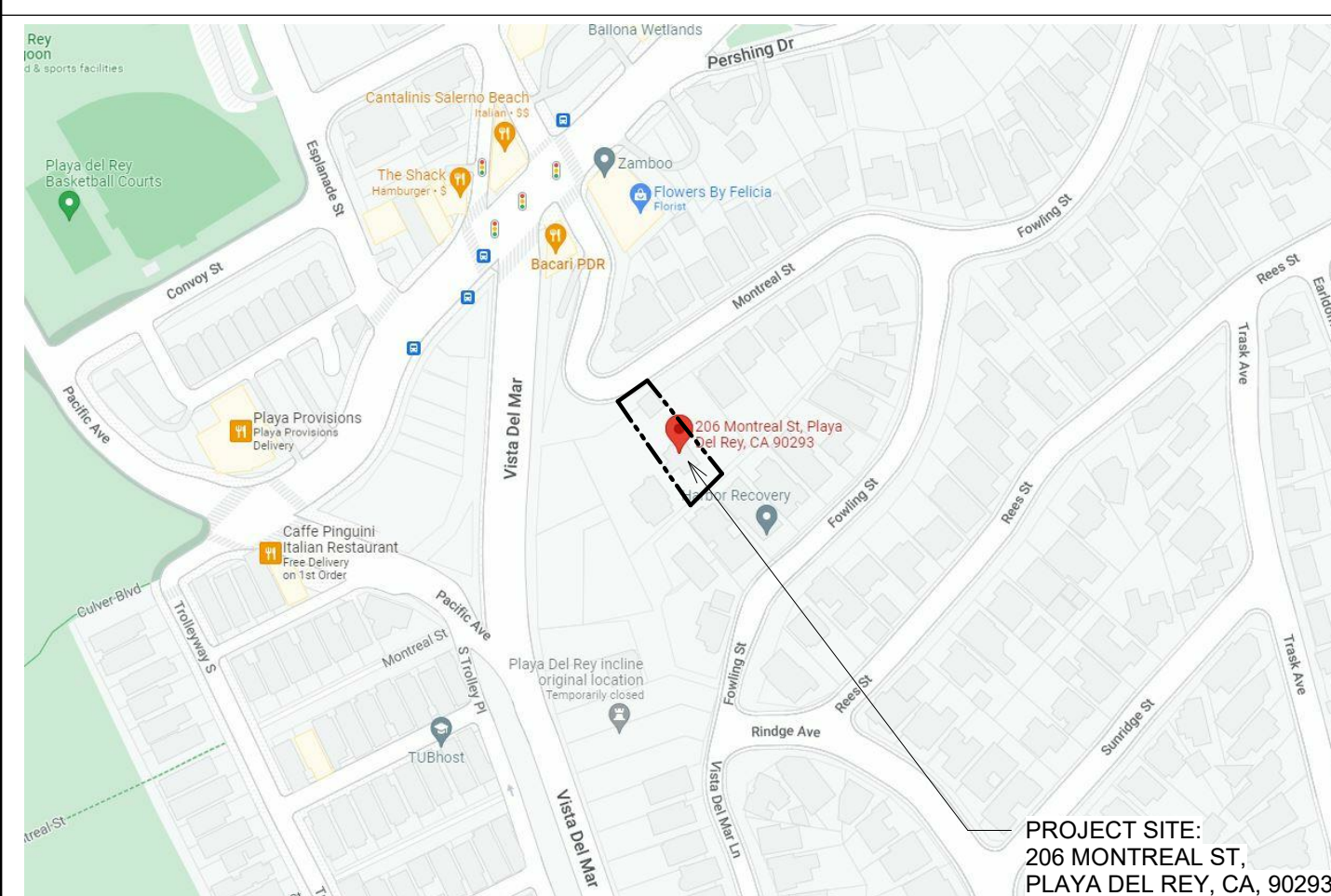
RESIDENTIAL FLOOR AREA:
 GARAGE: 410 SF
 1ST STORY: 1,211 SF
 2ND STORY: 1,299 SF
 3RD STORY: 234 SF
TOTAL: 3,154 SF
 BUILDABLE AREA: 4,651 SF
MAX. ALLOWABLE RFA (4,651 X 3): 13,953 SF

FIRE SPRINKLER:
 -

APPLICABLE CODES

2019 CALIFORNIA BUILDING STANDARDS CODE - TITLE 24 (CBC)
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA ENERGY CODE
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
 2019 CALIFORNIA FIRE CODE
 2020 LOS ANGELES MUNICIPAL CODE

VICINITY MAP



5/11/2023 4:02:18 PM



SOILS REPORT APPROVAL LETTER

March 21, 2023

Andrea Snow, 206 E. Montreal St., Playa Del Rey, CA 90293

TRACT: 8557, BLOCK: 18, LOT(S): 14, LOCATION: 206 E. Montreal St.

Table with 4 columns: CURRENT REFERENCE REPORT/LETTER(S), REPORT No., DATE OF DOCUMENT, PREPARED BY. Row 1: Soils Report, 2956-24, 02/08/2023, Feffer Geological

Table with 4 columns: PREVIOUS REFERENCE REPORT/LETTER(S), REPORT No., DATE OF DOCUMENT, PREPARED BY. Rows include Dept. Review Letter, Soils Report, Oversized Doc(s), Laboratory Test Report

The Grading Division of the Department of Building and Safety has reviewed the referenced reports that provide recommendations for the proposed 3-story residence with an infinity pool in the roof, detached garage, and associated retaining walls.

Groundwater was not encountered during exploration to a depth of 12 feet below the existing grade and the historically highest groundwater level in the area is approximately 40 feet below the ground surface, according to the consultants.

LADBS G-6 (Rev. 12/12/2022) AN EQUAL EMPLOYMENT OPPORTUNITY - AFFIRMATIVE ACTION EMPLOYER

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Engineering analyses provided by Feffer Geological is based on laboratory testing performed by HD Geosolutions Inc. Feffer Geological is accepting responsibility for use of the data in accordance to Code section 91.7008.5 of LABC.

The site is located in a designated seismically induced landslide hazard zone as shown on the Seismic Hazard Zones map issued by the State of California.

As of January 1, 2023, the City of Los Angeles has adopted the new 2023 Los Angeles Building Code (LABC). The 2023 LABC requirements will apply to all projects where the permit application submittal date is after January 1, 2023.

The referenced reports are acceptable, provided the following conditions are complied with during site development:

(Note: Numbers in parenthesis () refer to applicable sections of the 2023 City of LA Building Code. P/BC numbers refer the applicable Information Bulletin. Information Bulletins can be accessed on the internet at LADBS.ORG.)

- 1. Conformance with the Zoning Code Section 12.21 C8, which limits the heights and number of retaining walls, will be determined during structural plan check.
2. The soils engineer shall review and approve the detailed plans prior to issuance of any permit. This approval shall be by signature on the plans that clearly indicates the soils engineer has reviewed the plans prepared by the design engineer; and, that the plans included the recommendations contained in their reports (7006.1).
3. All recommendations of the report(s) that are in addition to or more restrictive than the conditions contained herein shall be incorporated into the plans.
4. A copy of the subject and appropriate referenced reports and this approval letter shall be attached to the District Office and field set of plans (7006.1). Submit one copy of the above reports to the Building Department Plan Checker prior to issuance of the permit.
5. A grading permit shall be obtained for all structural fill and retaining wall backfill (106.1.2).
6. Prior to the issuance of any permit, an accurate volume determination shall be made and included in the final plans, with regard to the amount of earth material to be exported from the site. For grading involving import or export of more than 1000 cubic yards of earth materials within the grading hillside area, approval is required by the Board of Building and Safety. Application for approval of the haul route must be filed with the Board of Building and Safety Commission Office. Processing time for application is approximately 8 weeks to hearing plus 10-day appeal period (7006.7.5).
7. All man-made fill shall be compacted to a minimum 90 percent of the maximum dry density of the fill material per the latest version of ASTM D 1557. Where cohesionless soil having less than 15 percent finer than 0.005 millimeters is used for fill, it shall be compacted to a minimum of 95 percent relative compaction based on maximum dry density. Placement of gravel in lieu of compacted fill is only allowed if complying with LAMC Section 91.7011.3.

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- 8. If import soils are used, no footings shall be poured until the soils engineer has submitted a compaction report containing in-place shear test data and settlement data to the Grading Division of the Department; and, obtained approval (7008.2).
9. Compacted fill shall extend beyond the footings a minimum distance equal to the depth of the fill below the bottom of footings or a minimum of three feet whichever is greater (7011.3).
10. Existing uncertified fill shall not be used for support of footings, concrete slabs or new fill (1809.2, 7011.3).
11. Drainage in conformance with the provisions of the Code shall be maintained during and subsequent to construction (7013.12).
12. Grading shall be scheduled for completion prior to the start of the rainy season, or detailed temporary erosion control plans shall be filed in a manner satisfactory to the Grading Division of the Department and the Department of Public Works, Bureau of Engineering, B-Permit Section, for any grading work in excess of 200 cubic yards (7007.1).
1828 Sawtelle Blvd., 3rd Floor, West LA (310) 575-8388
13. All loose foundation excavation material shall be removed prior to commencement of framing. Slopes disturbed by construction activities shall be restored (7005.3).
14. The applicant is advised that the approval of this report does not waive the requirements for excavations contained in the General Safety Orders of the California Department of Industrial Relations (3301.1).
15. Temporary excavations that remove lateral support to the public way, adjacent property, or adjacent structures shall be supported by shoring or constructed using ABC slot cuts. Note: Lateral support shall be considered to be removed when the excavation extends below a plane projected downward at an angle of 45 degrees from the bottom of a footing of an existing structure, from the edge of the public way or an adjacent property. (3307.3.1)
16. Where any excavation, not addressed in the approved reports, would remove lateral support (as defined in 3307.3.1) from a public way, adjacent property or structures, a supplemental report shall be submitted to the Grading Division of the Department containing recommendations for shoring, underpinning, and sequence of construction. Report shall include a plot plan and cross-section(s) showing the construction type, number of stories, and location of adjacent structures, and analysis incorporating all surcharge loads that demonstrate an acceptable factor of safety against failure. (7006.2 & 3307.3.2)
17. Prior to the issuance of any permit that authorizes an excavation where the excavation is to be of a greater depth than are the walls or foundation of any adjoining building or structure and located closer to the property line than the depth of the excavation, the owner of the subject site shall provide the Department with evidence that the adjacent property owner has been given a 30-day written notice of such intent to make an excavation (3307.1).
18. The soils engineer shall review and approve the shoring plans prior to issuance of the permit (3307.3.2).

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- 19. Prior to the issuance of the permits, the soils engineer and the structural designer shall evaluate the surcharge loads used in the report calculations for the design of the retaining walls and shoring. If the surcharge loads used in the calculations do not conform to the actual surcharge loads, the soil engineer shall submit a supplementary report with revised recommendations to the Department for approval.
20. Unsurcharged temporary excavations over 5 feet exposing soil shall be trimmed back at a gradient not exceeding 1:1, as recommended.
21. Shoring shall be designed for the lateral earth pressures specified in the section titled "Shoring" starting on page 22 of the 11/08/2022 report; all surcharge loads shall be included into the design.
22. Shoring shall be designed for a maximum lateral deflection of 1 inch, provided there are no structures within a 1:1 plane projected up from the base of the excavation. Where a structure is within a 1:1 plane projected up from the base of the excavation, shoring shall be designed for a maximum lateral deflection of 1/2 inch, or to a lower deflection determined by the consultant that does not present any potential hazard to the adjacent structure.
23. A shoring monitoring program shall be implemented to the satisfaction of the soils engineer.
24. ABC slot-cut method may be used for unsurcharged temporary excavations with each slot not exceeding 10 feet in height and not exceeding 8 feet in width, as recommended. The soils engineer shall verify in the field if the existing earth materials are stable in the slot-cut excavation. Each slot shall be inspected by the soils engineer and approved in writing prior to any worker access.
25. All foundations shall derive entire support from native undisturbed soils, or properly placed compacted fill, as recommended and approved by the soils engineer by inspection.
26. Foundations adjacent to a descending slope steeper than 3:1 (horizontal to vertical) in gradient shall be a minimum distance of one-third the vertical height of the slope but need not exceed 40 feet measured horizontally from the footing bottom to the face of the slope (1808.7.2); for pools the foundation setback shall be one-sixth the slope height to a maximum of 20 feet (1808.7.3).
27. Buildings adjacent to ascending slopes steeper than 3H:1V in gradient shall be setback from the toe of the slope a level distance measured perpendicular to slope contours equal to one-half the vertical height of the slope, but need not exceed 15 feet (1808.7.1); for pools the setback shall be one-fourth the vertical height of the slope, but need not exceed 7.5 feet (1808.7.3).
28. Footings supported on approved compacted fill or expansive soil shall be reinforced with a minimum of four (4), 1/2-inch diameter (#4) deformed reinforcing bars. Two (2) bars shall be placed near the bottom and two (2) bars placed near the top of the footing.
29. The foundation/slab design shall satisfy all requirements of the Information Bulletin P/BC 2017-116 "Foundation Design for Expansive Soils" (1803.5.3).

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- 30. Pile caisson and/or isolated foundation ties are required by LAMC Sections 91.1809.13 and/or 91.1810.3.13. Exceptions and modification to this requirement are provided in Information Bulletin P/BC 2020-030.
31. Pile and/or caisson shafts shall be designed for a lateral load of 1000 pounds per linear foot of shaft exposed to fill, soil and weathered bedrock per P/BC 2020-050.
32. The design passive pressure shall be neglected for a portion of the pile with a horizontal setback distance less than five feet from fill, soil or weathered bedrock, or as recommended in the soils report, whichever is greater.
33. When water is present in drilled pile holes, the concrete shall be tremied from the bottom up to ensure minimum segregation of the mix and negligible turbulence of the water (1808.8.3).
34. Existing uncertified fill shall not be used for lateral support of deep foundations (1810.2.1).
35. Slabs placed on approved compacted fill shall be at least 3 1/2 inches thick and shall be reinforced with 1/2-inch diameter (#4) reinforcing bars spaced a maximum of 16 inches on center each way.
36. Concrete floor slabs placed on expansive soil shall be placed on a 4-inch fill of coarse aggregate or on a moisture barrier membrane. The slabs shall be at least 3 1/2 inches thick and shall be reinforced with 1/2-inch diameter (#4) reinforcing bars spaced a maximum of 16 inches on center each way.
37. The seismic design shall be based on a Site Class D, as recommended. All other seismic design parameters shall be reviewed by LADBS building plan check. According to ASCE 7-16 Section 11.4.8, for structures on Site Class D sites with S1 greater than or equal to 0.2, the parameter SM1 determined by EQ (11.4-2) shall be increased by 50%. Alternatively, a supplemental report containing a site-specific ground motion hazard analysis in accordance with ASCE 7-16 Section 21.2 shall be submitted for review and approval.
38. Retaining walls shall be designed for the lateral earth pressures specified in the section titled "Retaining Walls" starting on page 19 of the 11/08/2022 report. Note: All surcharge loads shall be included into the design.
39. Basement walls and other walls in which horizontal movement is restricted at the top shall be designed for at-rest pressure as specified on page 2 of the 02/08/2023 report (1610.1). All surcharge loads shall be included into the design.
40. All retaining walls shall be provided with a standard surface backdrain system and all drainage shall be conducted in a non-erosive device to the street in an acceptable manner (7013.11).
41. With the exception of retaining walls designed for hydrostatic pressure, all retaining walls shall be provided with a subdrain system to prevent possible hydrostatic pressure behind the wall. Prior to issuance of any permit, the retaining wall subdrain system recommended in the soils report shall be incorporated into the foundation plan which shall be reviewed and approved by the soils engineer of record (1805.4).

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- 42. Installation of the subdrain system shall be inspected and approved by the soils engineer of record and the City grading/building inspector (108.9).
43. Basement walls and floors shall be waterproofed/damp-proofed with an LA City approved "Below-grade" waterproofing/damp-proofing material with a research report number (104.2.6).
44. The use of acceptable prefabricated drainage composites (also known as geosynthetic subdrain systems), as an alternative to traditionally accepted methods of draining retained earth, shall be determined during structural plan check.
45. Where the ground water table is lowered and maintained at an elevation not less than 6 inches below the bottom of the lowest floor, or where hydrostatic pressures will not occur, the floor and basement walls shall be damp-proofed. Where a hydrostatic pressure condition exists, and the design does not include a ground-water control system, basement walls and floors shall be waterproofed. (1803.5.4, 1805.1.3, 1805.2, 1805.3)
46. The proposed swimming pool shall be designed for a freestanding condition, as recommended (1808.7.3).
47. Pool deck drainage shall be collected and conducted to an approved location via a non-erosive device (7013.10).
48. The structure shall be connected to the public sewer system per P/BC 2020-027.
49. All roof, pad and deck drainage shall be conducted to the street in an acceptable manner in non-erosive devices or other approved location in a manner that is acceptable to the LADBS and the Department of Public Works; water shall not be dispersed on to descending slopes without specific approval from the Grading Division and the consulting geologist and soils engineer (7013.10).
50. All concentrated drainage shall be conducted in an approved device and disposed of in a manner approved by the LADBS (7013.10).
51. Sprinkler plans for irrigation shall be submitted and approved by the Mechanical Plan Check Section (7012.3.1).
52. The soils engineer shall inspect all excavations to determine that conditions anticipated in the report have been encountered and to provide recommendations for the correction of hazards found during grading (7008, 1705.6 & 1705.8).
53. All friction pile or caisson drilling and excavations shall be performed under the inspection and approval of the geologist and soils engineer. The geologist shall indicate the distance that friction piles or caissons penetrate into competent dune deposits in a written field memorandum. (1803.5.5, 1705.1.2)
54. Prior to pouring concrete, a representative of the consulting soils engineer shall inspect and approve the footing excavations. The representative shall post a notice on the job site for the LADBS Inspector and the Contractor stating that the work inspected meets the conditions of the report. No concrete shall be poured until the LADBS Inspector has also inspected and approved the footing excavations. A written certification to this effect shall

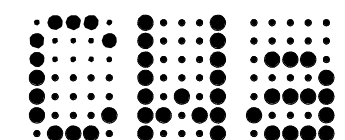
Page 7, 206 E. Montreal St.

- be filed with the Grading Division of the Department upon completion of the work. (108.9 & 7008.2)
55. Prior to excavation an initial inspection shall be called with the LADBS Inspector. During the initial inspection, the sequence of construction; shoring; ABC slot cuts; pile installation; protection fences; and, dust and traffic control will be scheduled (108.9.1).
56. Installation of shoring, slot cutting and/or pile excavations shall be performed under the inspection and approval of the soils engineer and deputy grading inspector (1705.6, 1705.8).
57. Prior to the placing of compacted fill, a representative of the soils engineer shall inspect and approve the bottom excavations. The representative shall post a notice on the job site for the LADBS Inspector and the Contractor stating that the soil inspected meets the conditions of the report. No fill shall be placed until the LADBS Inspector has also inspected and approved the bottom excavations. A written certification to this effect shall be included in the final compaction report filed with the Grading Division of the Department. All fill shall be placed under the inspection and approval of the soils engineer. A compaction report together with the approved soil report and Department approval letter shall be submitted to the Grading Division of the Department upon completion of the compaction. In addition, an Engineer's Certificate of Compliance with the legal description as indicated in the grading permit and the permit number shall be included (7011.3).
58. No footing/slab shall be poured until the compaction report is submitted and approved by the Grading Division of the Department.

LEILA ETAAT Structural Engineering Associate II

LEILA ETAAT, Reg. No. 224286-01, 213-482-0480

cc: Feffer Geological, Project Consultant, WL District Office



CLIVE WILKINSON ARCHITECTS, 6116 Washington Boulevard, Culver City, California 90232, +1 310 358 2200 www.clivewilkinson.com

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206 E. MONTREAL ST, PLAYA DEL REY, CA 90293

KEYPLAN

PROJECT NO.: 2225, DATE: 220727, SCALE:

SHEET TITLE:

SOILS APPROVAL LETTER

SHEET NO:

A004

DESIGN DEVELOPMENT

4/1/2023 7:00:51 PM

FD CL PROD
PER CEFB 096-149 PG.166

BC ESTABLISHED
PER CEFB 096-149 PG.166

MONTREAL STREET

VISTA DEL MAR

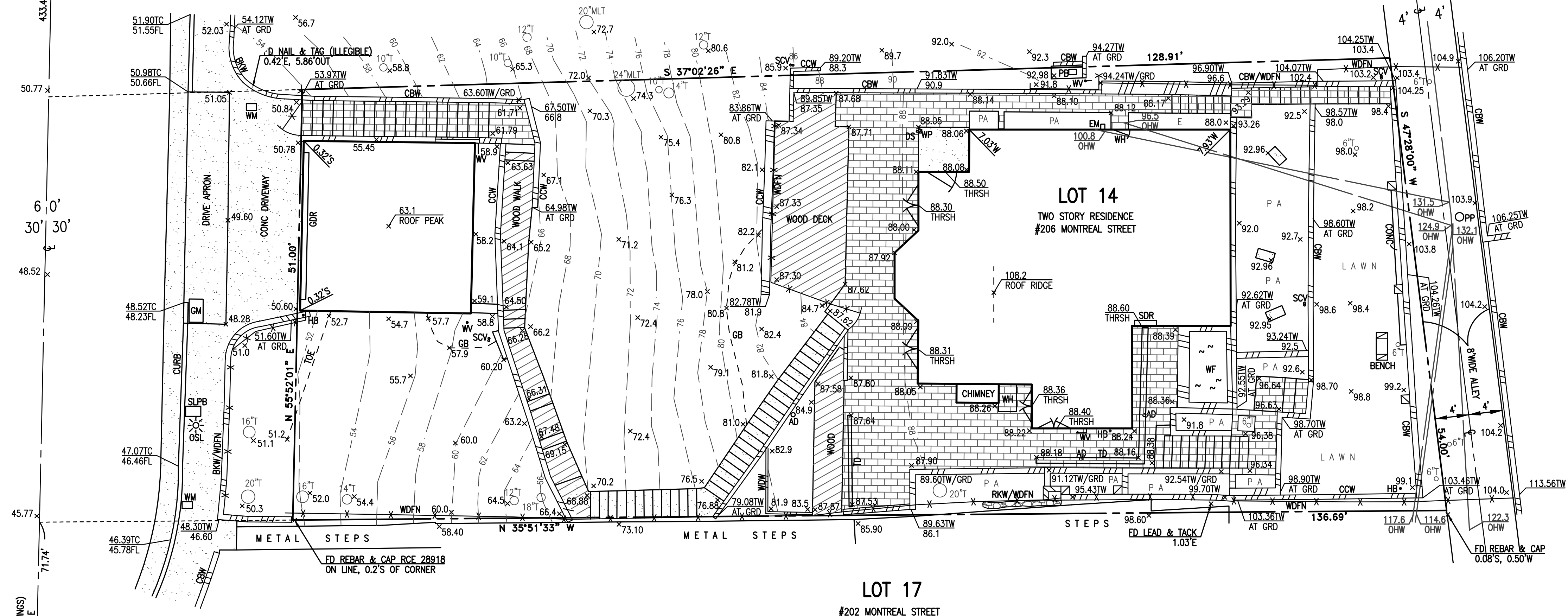
(BASIS OF BEARINGS)
N 55°52'01" E

CL INT. ESTABLISHED
PER CEFB 096-149 PG.165

LOT 12
#210 MONTREAL STREET

LOT 14
TWO STORY RESIDENCE
#206 MONTREAL STREET

LOT 17
#202 MONTREAL STREET



LEGEND

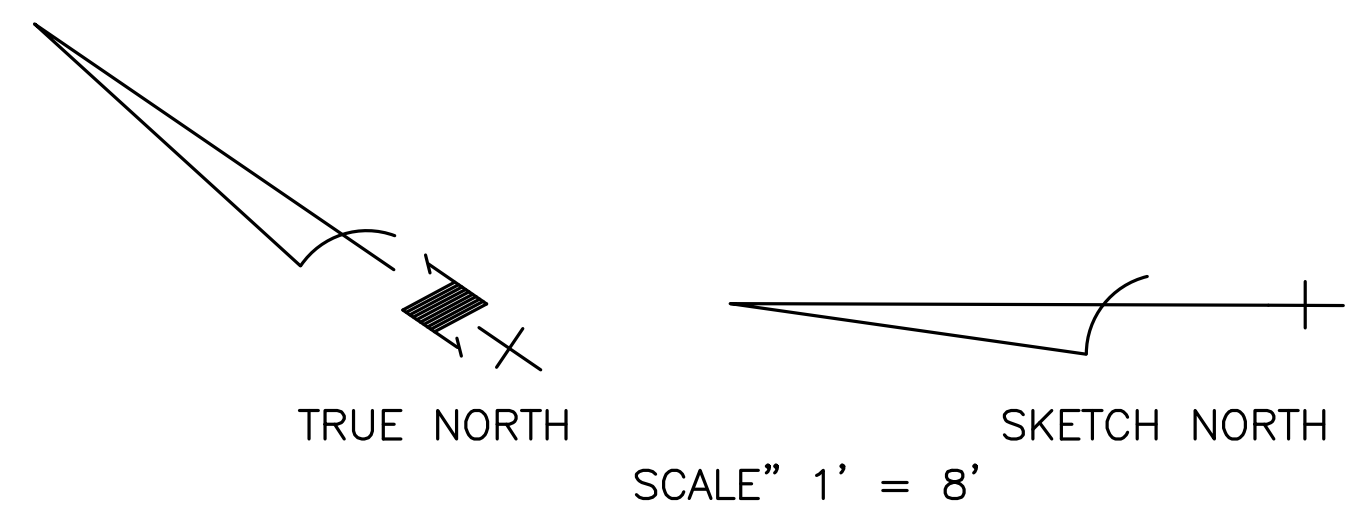
- AC ASPHALTIC CONCRETE
 - AD AREA DRAIN
 - BC BEGIN CURVE
 - BKW BRICK WALL
 - CBW CONCRETE BLOCK WALL
 - CCW CONCRETE WALL
 - COL COLUMN
 - CONC CONCRETE
 - DS DOWN SPOUT
 - E EARTH
 - EOP EDGE OF PAVEMENT
 - EM ELECTRIC METER
 - FD FOUND
 - FL FLOW LINE
 - GB GRADE BREAK
 - GM GAS METER
 - GRD GRADE
 - HB HOSEBIB
 - MLT MULTI-STEM TREE
 - OHW OVERHEAD WIRE
 - OSL ORNAMENTAL STREET LIGHT
 - PA PLANTED AREA
 - PB PULL BOX
 - PP POWER POLE
 - RKW ROCK WALL
 - SCV SPRINKLER CONTROL VALVE
 - SDR SLIDING DOOR
 - SL STREET LIGHT
 - SLPB STREET LIGHT PULL BOX
 - T TREE
 - TC TOP OF CURB
 - TD TRENCH DRAIN
 - THRSH THRESHOLD
 - TW TOP OF WALL
 - WDFN WOOD FENCE
 - WDW WOOD WALL
 - WF WATER FEATURE
 - WH WATER HEATER
 - WM WATER METER
 - WP WOOD POST
 - WV WATER VALVE
- N NORTH OF PROPERTY LINE
S SOUTH OF PROPERTY LINE
E EAST OF PROPERTY LINE
W WEST OF PROPERTY LINE

NOTE:
LOT AREA = 6,949 SQ FT (0.16 ACRES)

BENCH MARK:
CITY OF LOS ANGELES BENCH MARK NO. 17-01970
CITY DISC *STMPD 26-M* IN 8IN MON; 5FT N OF N CURB LINE CULVER BL; 20FT W OF W CURB LINE CULVER PLACE

ELEVATION = 10.843 (1985 ADJ. NAVD 1929 DATUM)

BASIS OF BEARINGS:
A BEARING OF N 55°52'01" E FOR THE SOUTHERLY LINE OF MONTREAL STREET (FORMERLY KNOWN AS MONTGOMERY AVENUE) AND TRANSFERRED TO CENTERLINE AS SHOWN ON THE MAP OF TRACT 8557, M.B. 103-1/3 WAS USED FOR THE BASIS OF BEARINGS SHOWN HEREON.



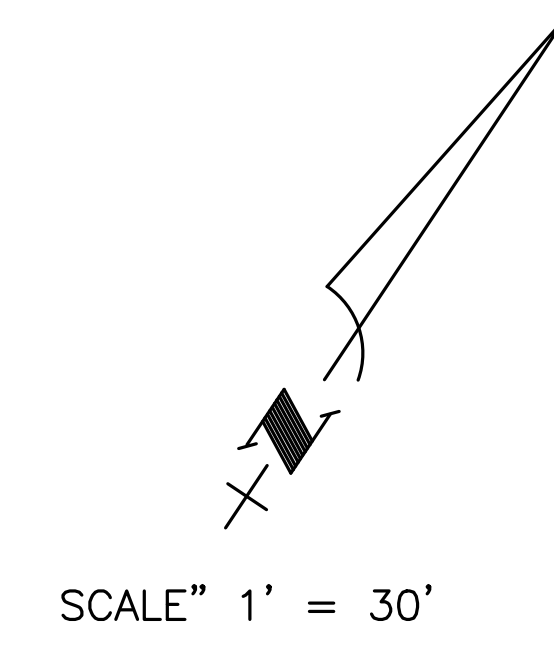
<p>BECKER AND MIYAMOTO, INC. LICENSED LAND SURVEYORS 5601 W. WASHINGTON BLVD. LOS ANGELES, CA. 90016 (323) 592-3589</p>		JOB NO.	13549
		DRAWN BY:	H
<p>TITLE: TOPOGRAPHIC SURVEY LOT 14, BLOCK 18 OF TRACT NO. 8557, M.B. 103-1/3</p>		CHECKED BY:	MY
		DATE OF SURVEY:	7-11-22
<p>PREPARED EXCLUSIVELY FOR: ANDREA SNOW</p>		SHEET	1
<p>MARK YAMASHITA PLS 7155</p>		OF	1



Lot	Frontage (ft)	Setback (ft)
1	60	14.8
4	59.5	2
6	50	2.3
8	50	4
10	59.3	11
14	51	0
17	36.1	94.6

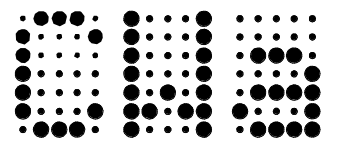
Lot	Frontage (ft)	Setback (ft)
4	59.50	2.00
6	50.00	2.30
8	50.00	4.00
14	51.00	0.00

PREVAILING SETBACK: 2.08'



SCALE" 1' = 30'

BECKER AND MIYAMOTO, INC. LICENSED LAND SURVEYORS 5601 W. WASHINGTON BLVD. LOS ANGELES, CA. 90016 (323) 592-3589		JOB NO.	13549-PSB
		DRAWN BY:	H
TITLE: PREVAILING SETBACK STUDY MONTREAL STREET LOS ANGELES, CALIFORNIA		CHECKED BY:	MY
		DATE OF SURVEY:	7-11-22
PREPARED EXCLUSIVELY FOR: ANDREA SNOW		SHEET	1
MARK YAMASHITA PLS 7155		OF	1



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SUMMARY TABLE

HEIGHT LIMIT: 42'-0"
HEIGHT OF SFD: 14'-0"
HEIGHT OF DETACHED GARAGE: 14'-0"
MAXIMUM HEIGHT ENVELOPE: 45'-0"

SETBACK CALCULATIONS:

SFD:
FRONT YARD SETBACK: 2'-1" (PREVAILING)
REAR YARD SETBACK: 15'-0"
SIDE YARD SETBACK: 6'-0"

DETACHED GARAGE:
FRONT SETBACK: 5'-0"
SIDE SETBACK: 5'-0"

LOT COVERAGE:
TOTAL LOT COVERAGE: 2,567 SF (36.9%)
ALLOWABLE LOT COVERAGE (40%): 6,949.9 SF x 0.4 = 2,780 SF

PARKING SUMMARY:
(2) SPACES REQUIRED, (2) SPACES PROVIDED

RESIDENTIAL FLOOR AREA:
PROPOSED FLOOR AREA: 3,154 SF
BUILDABLE AREA: 4,651 SF
MAX. ALLOWABLE RFA (4,651 X 3): 13,953 SF

ISSUES _____ DATE _____

REVISION LIST _____ DATE _____

PLAYA DEL REY HOUSE

206 E. MONTREAL ST
PLAYA DEL REY, CA 90293

KEYPLAN

PROJECT NO.: 2225
DATE: 220727
SCALE: 1/8" = 1'-0"

SHEET TITLE:
SITE PLAN

SHEET NO.:

A101

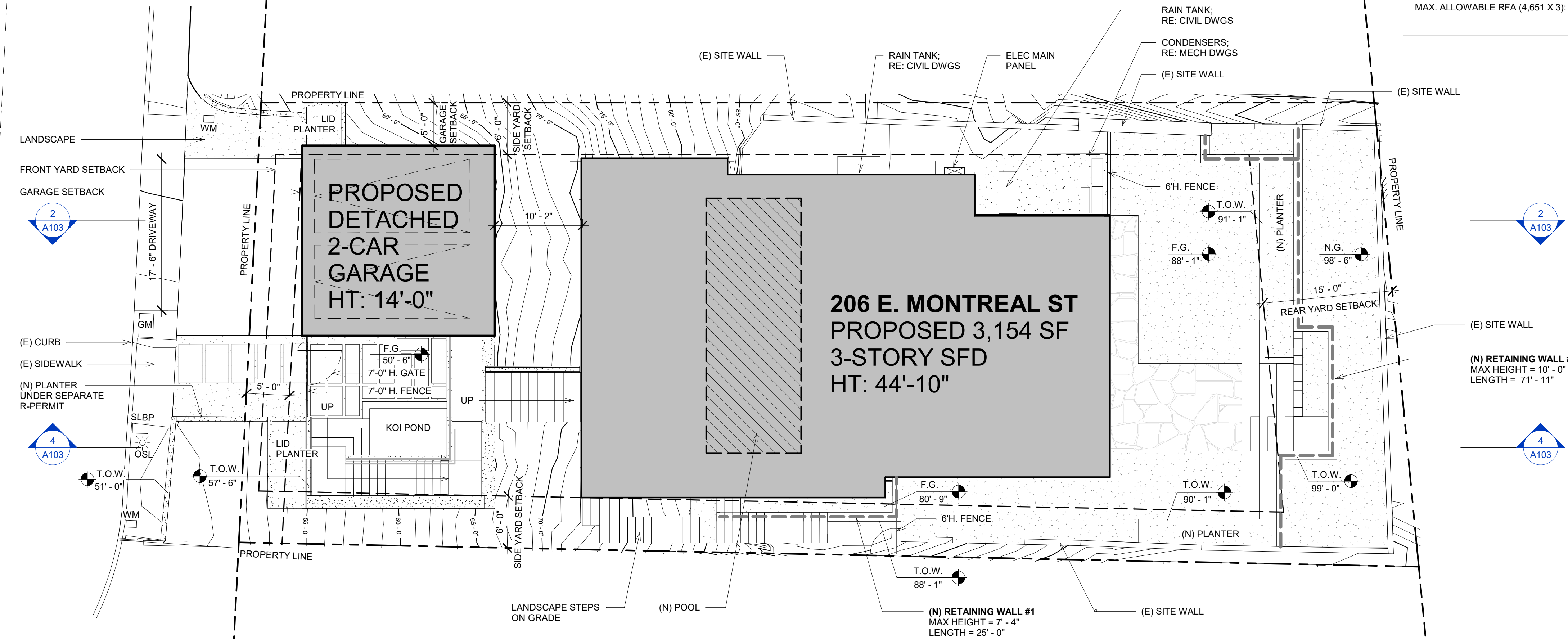
DESIGN DEVELOPMENT

210 E. MONTREAL ST

200 E. MONTREAL ST

MONTREAL ST.

VISTA DEL MAR



2 A103

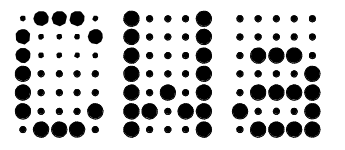
4 A103

2 A103

4 A103

5/3/2023 2:56:40 PM



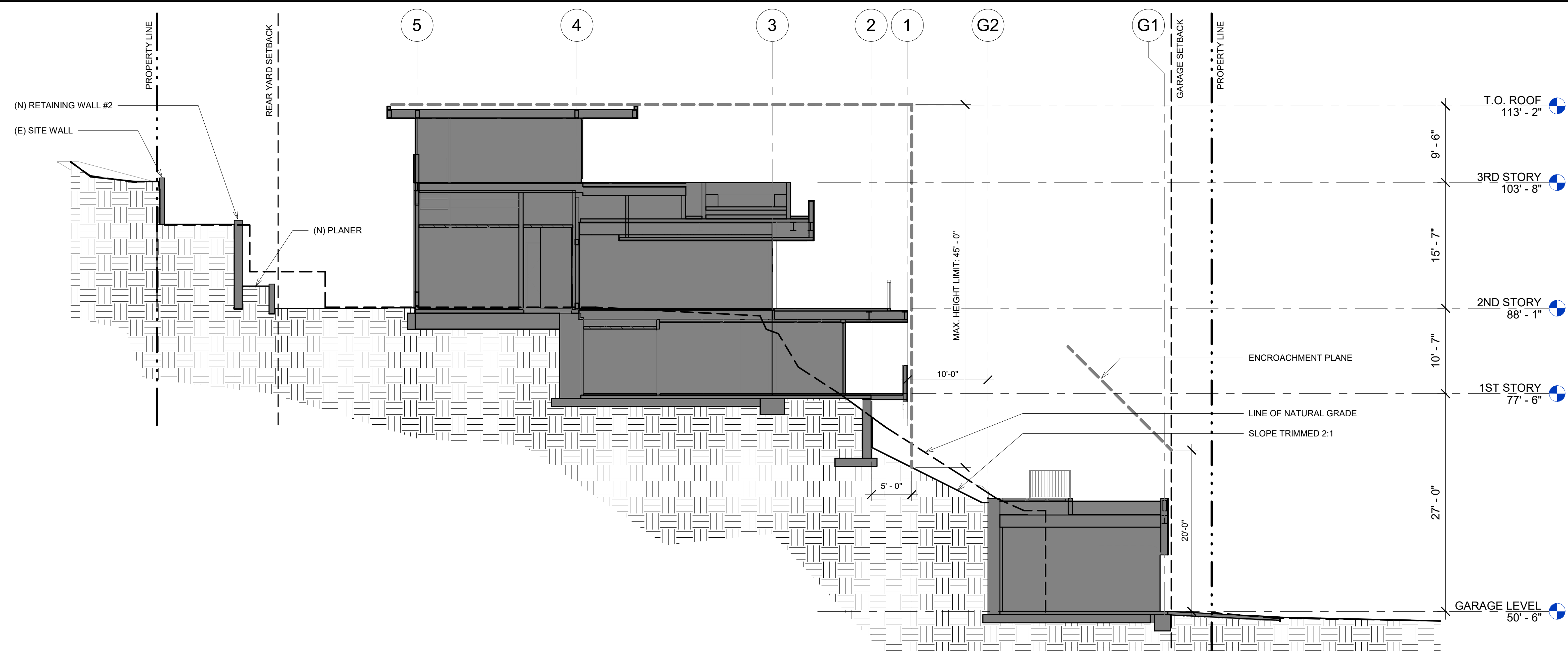


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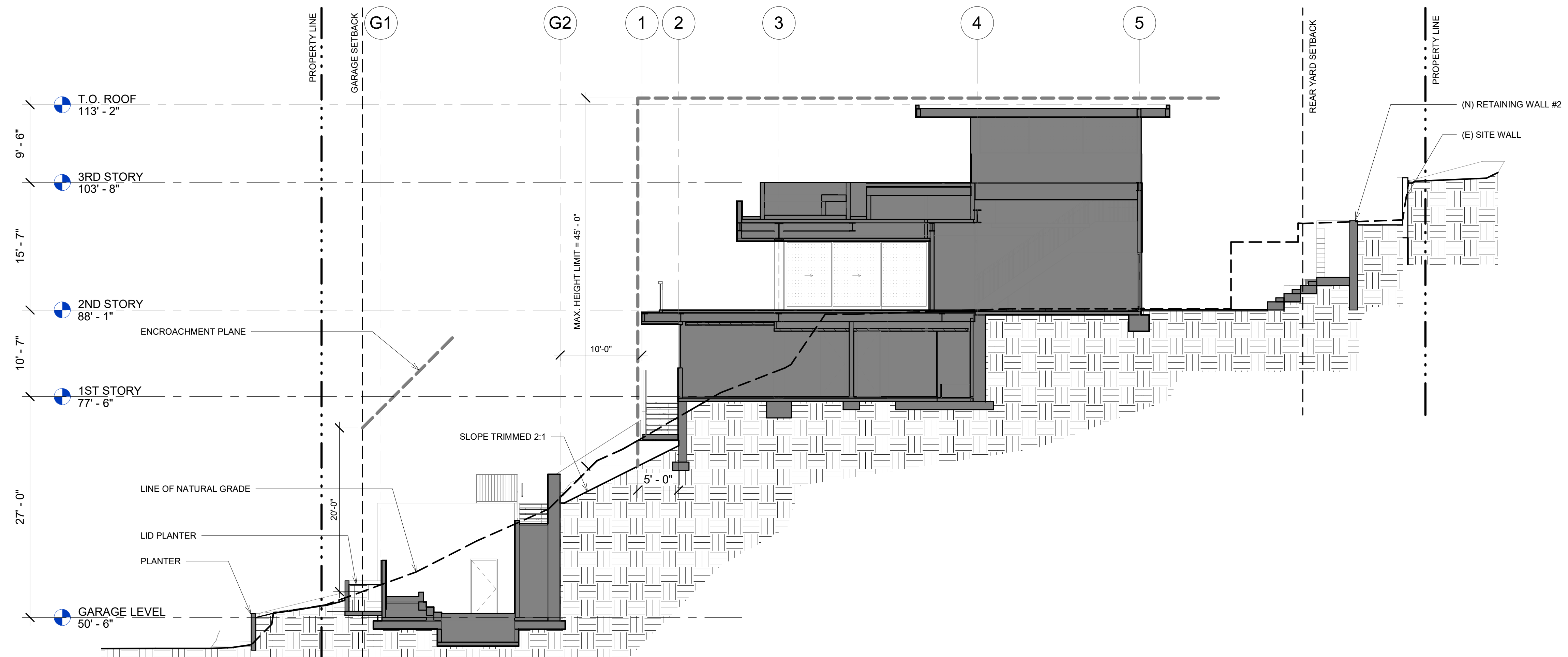
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ISSUES _____ DATE _____

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SITE SECTION A 2
 1/8" = 1'-0" A103



SITE SECTION B 4
 1/8" = 1'-0" A103

PLAYA DEL REY HOUSE

206 E. MONTREAL ST
 PLAYA DEL REY, CA 90293

KEYPLAN

PROJECT NO.: 2225
 DATE: 220727
 SCALE: 1/8" = 1'-0"

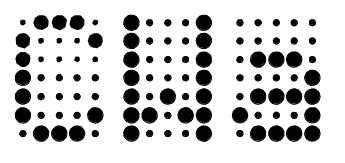
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SITE SECTIONS

SHEET NO.:

A103

DESIGN DEVELOPMENT

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REVISION LIST _____ DATE _____

CONSTRUCTION PLAN LEGEND

- CONCRETE WALL, RE. STRUCT DWGS
- 2X6 WOOD FRAMING
- 2X4 WOOD FRAMING
- 1 HR. FIRE SEPARATION
- MILLWORK
- ROOM**
 001 ROOM NAME
 XX ROOM NUMBER
- RETENTION TAG
- 000.1
- 000.A
- FLOOR BOWER OUTLET
- FLOOR DATA OULET
- FLOOR FINISH DESIGNATION, SEE FINISH SCHEDULE
- DOWNSPOUT

CONSTRUCTION PLAN SHEET NOTES

1. SEE A901 FOR WALL ASSEMBLIES.
2. SEE A801 FOR FINISH SCHEDULE.
3. SEE A802 FOR DOOR AND HARDWARE SCHEDULE AND TYPES.
4. SEE A803 FOR WINDOW SCHEDULE AND TYPES.
5. DIMENSIONS ARE FROM FACE OF STRUCTURE, UNO
6. DO NOT SCALE FROM DRAWINGS.
7. ANY INCONSISTENCIES OR UNFORSEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
8. SEE RCP FOR CEILING FINISHES.
9. ALL WALLS AND CEILINGS TO BE PT-1 U.N.O. SEE FINISH SCHEDULE.

PLAYA DEL REY HOUSE

206 E. MONTREAL ST
 PLAYA DEL REY, CA 90293

KEYPLAN

PROJECT NO.: 2225
 DATE: 220727
 SCALE: 1/4" = 1'-0"

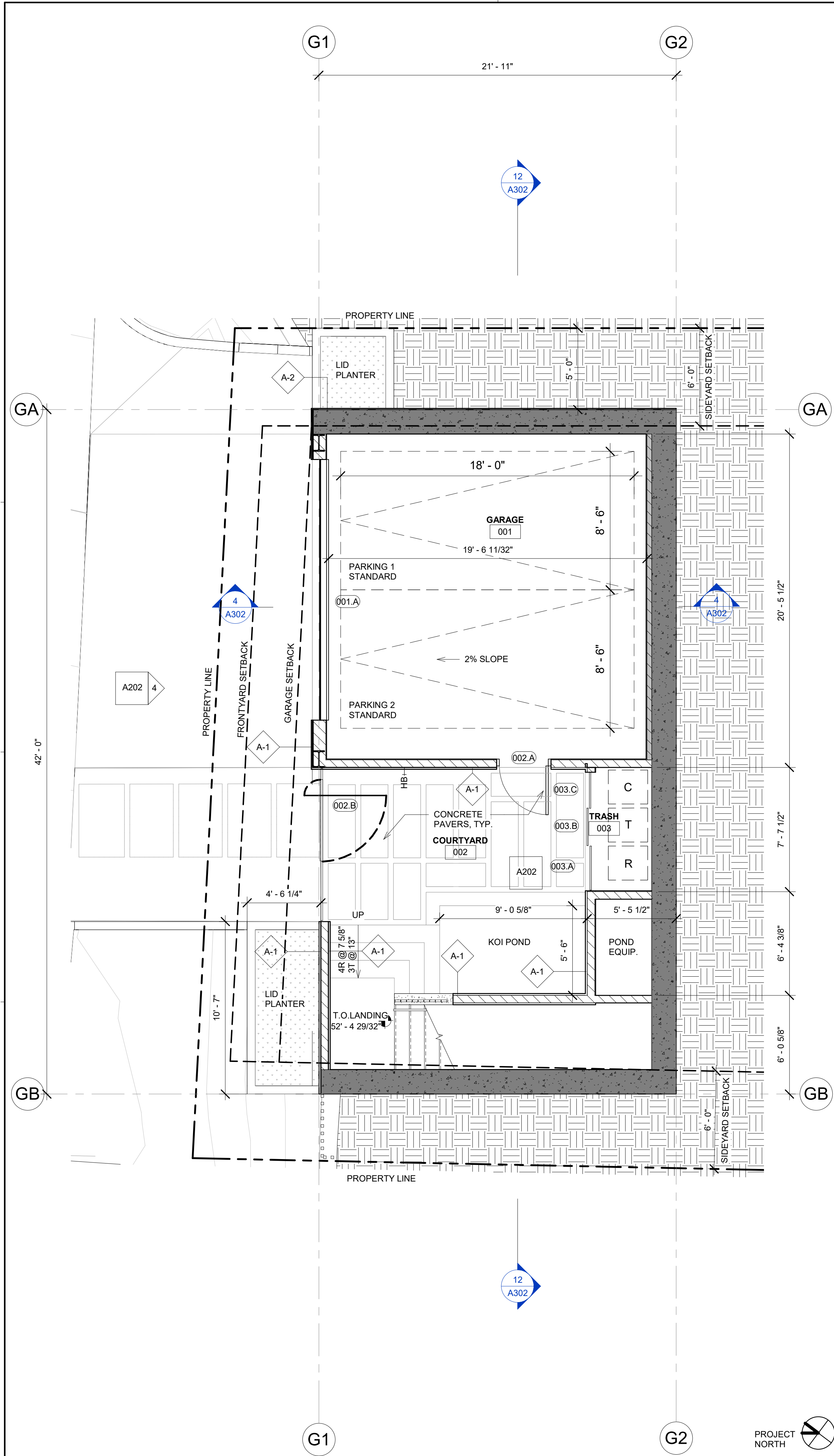
SHEET TITLE:

GARAGE CONSTRUCTION PLAN

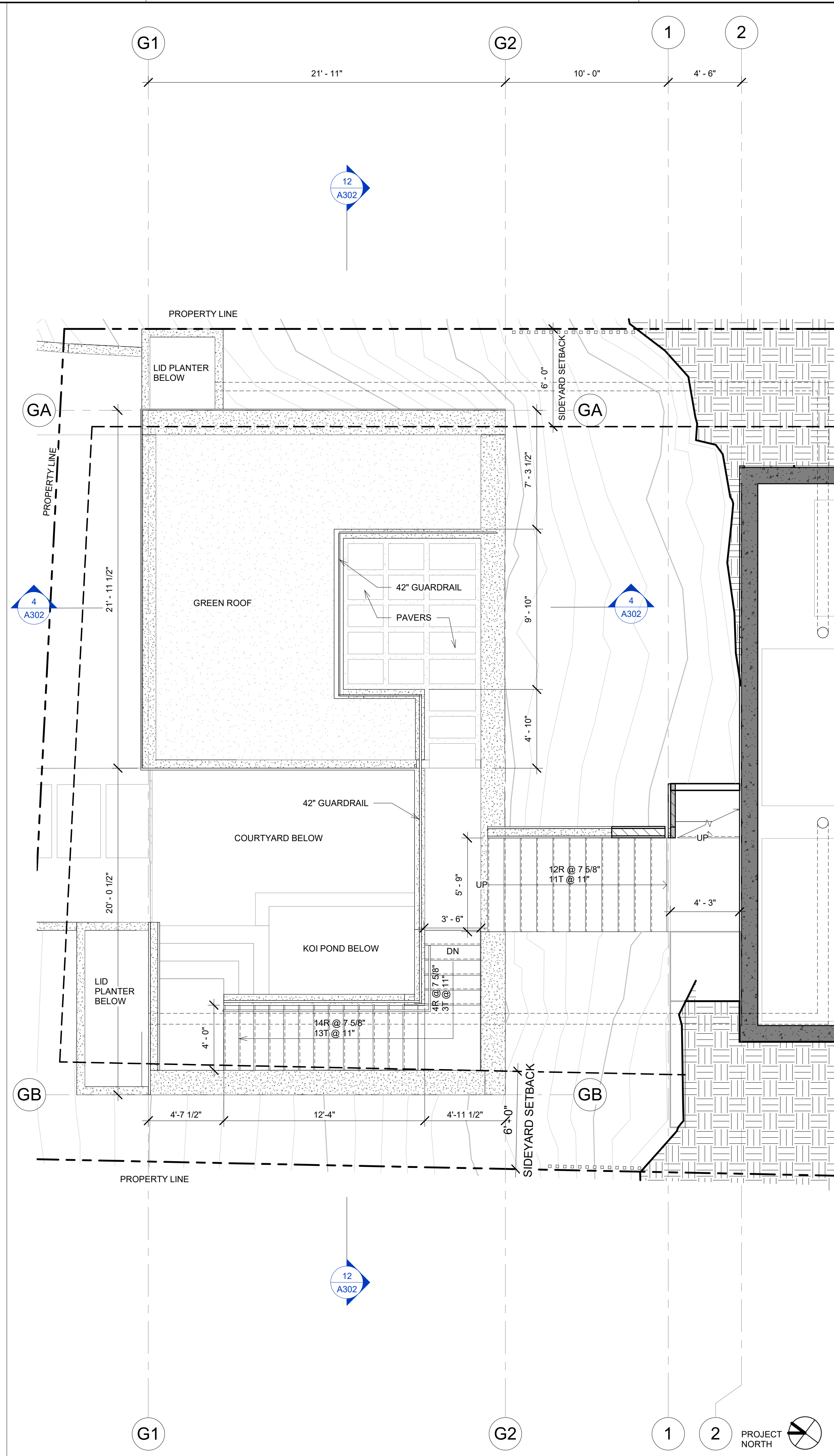
SHEET NO.:

A110

DESIGN DEVELOPMENT



GARAGE CONSTRUCTION PLAN 12
 1/4" = 1'-0" A110

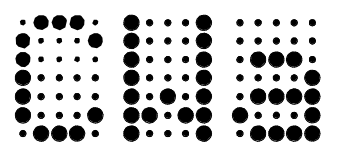


GARAGE ROOF PLAN 4
 1/4" = 1'-0" A110

5/11/2023 3:44:41 PM

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ISSUES _____ DATE _____

REVISION LIST _____ DATE _____

CONSTRUCTION PLAN LEGEND

- CONCRETE WALL, RE. STRUCT DWGS
- 2X6 WOOD FRAMING
- 2X4 WOOD FRAMING
- 1 HR. FIRE SEPARATION
- MILLWORK
- ROOM**
- ROOM NAME
- ROOM NUMBER
- REVISION TAG
- REVISION TAG
- REVISION TAG
- REVISION TAG
- FLOOR BOWER OUTLET
- FLOOR DATA OUTLET
- FLOOR FINISH DESIGNATION, SEE FINISH SCHEDULE
- DOWNSPOUT

CONSTRUCTION PLAN SHEET NOTES

1. SEE A901 FOR WALL ASSEMBLIES.
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PLAYA DEL REY HOUSE

206 E. MONTREAL ST
 PLAYA DEL REY, CA 90293

KEYPLAN

PROJECT NO.: 2225
 DATE: 220727
 SCALE: 1/4" = 1'-0"

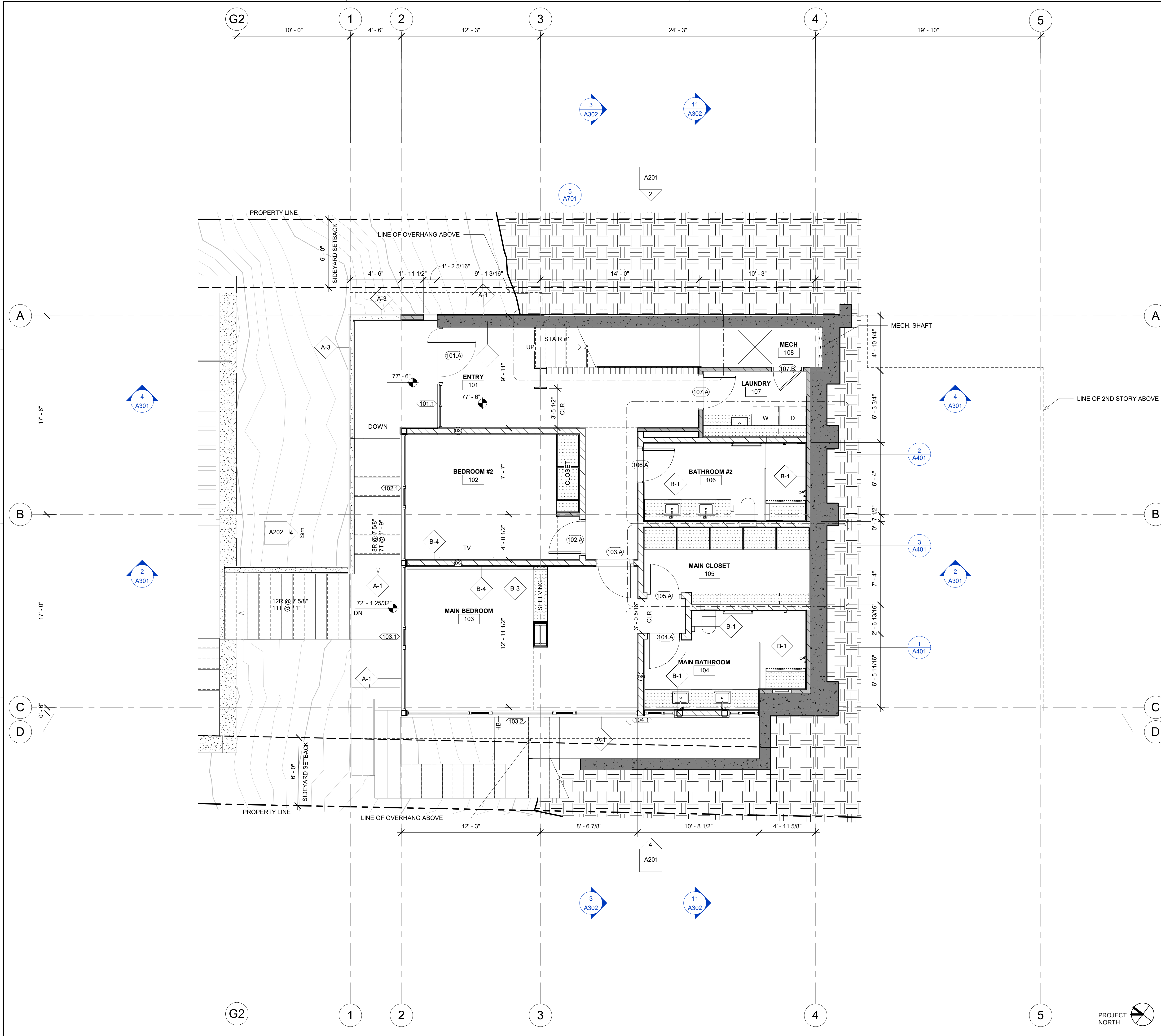
SHEET TITLE:

1ST STORY CONSTRUCTION PLAN

SHEET NO:

A111

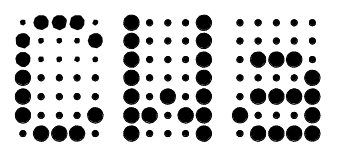
DESIGN DEVELOPMENT



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ISSUES _____ DATE _____

REVISION LIST _____ DATE _____

CONSTRUCTION PLAN LEGEND

- CONCRETE WALL, RE. STRUCT DWGS
- 2X6 WOOD FRAMING
- 2X4 WOOD FRAMING
- 1 HR. FIRE SEPARATION
- MILLWORK
- ROOM**
- ROOM NAME
- ROOM NUMBER
- REVISION TAG
- REVISION TAG
- REVISION TAG
- REVISION TAG
- FLOOR BOWLER OUTLET
- FLOOR DATA OULET
- FLOOR FINISH DESIGNATION, SEE FINISH SCHEDULE
- DOWNSPOUT

CONSTRUCTION PLAN SHEET NOTES

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PLAYA DEL REY HOUSE

206 E. MONTREAL ST
 PLAYA DEL REY, CA 90293

KEYPLAN

PROJECT NO.: 2225
 DATE: 220727
 SCALE: 1/4" = 1'-0"

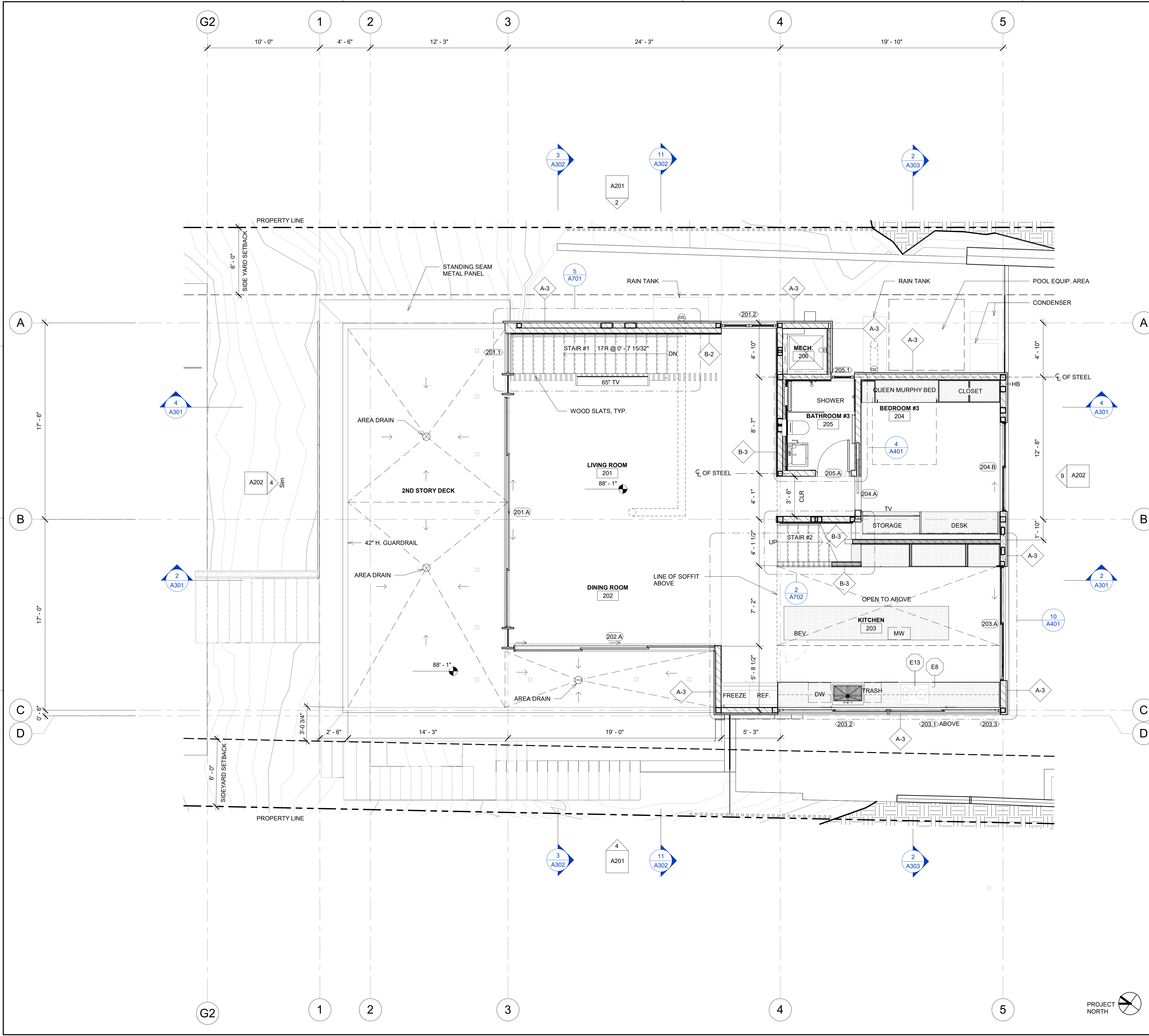
SHEET TITLE:

2ND STORY CONSTRUCTION PLAN

SHEET NO:

A112

DESIGN DEVELOPMENT

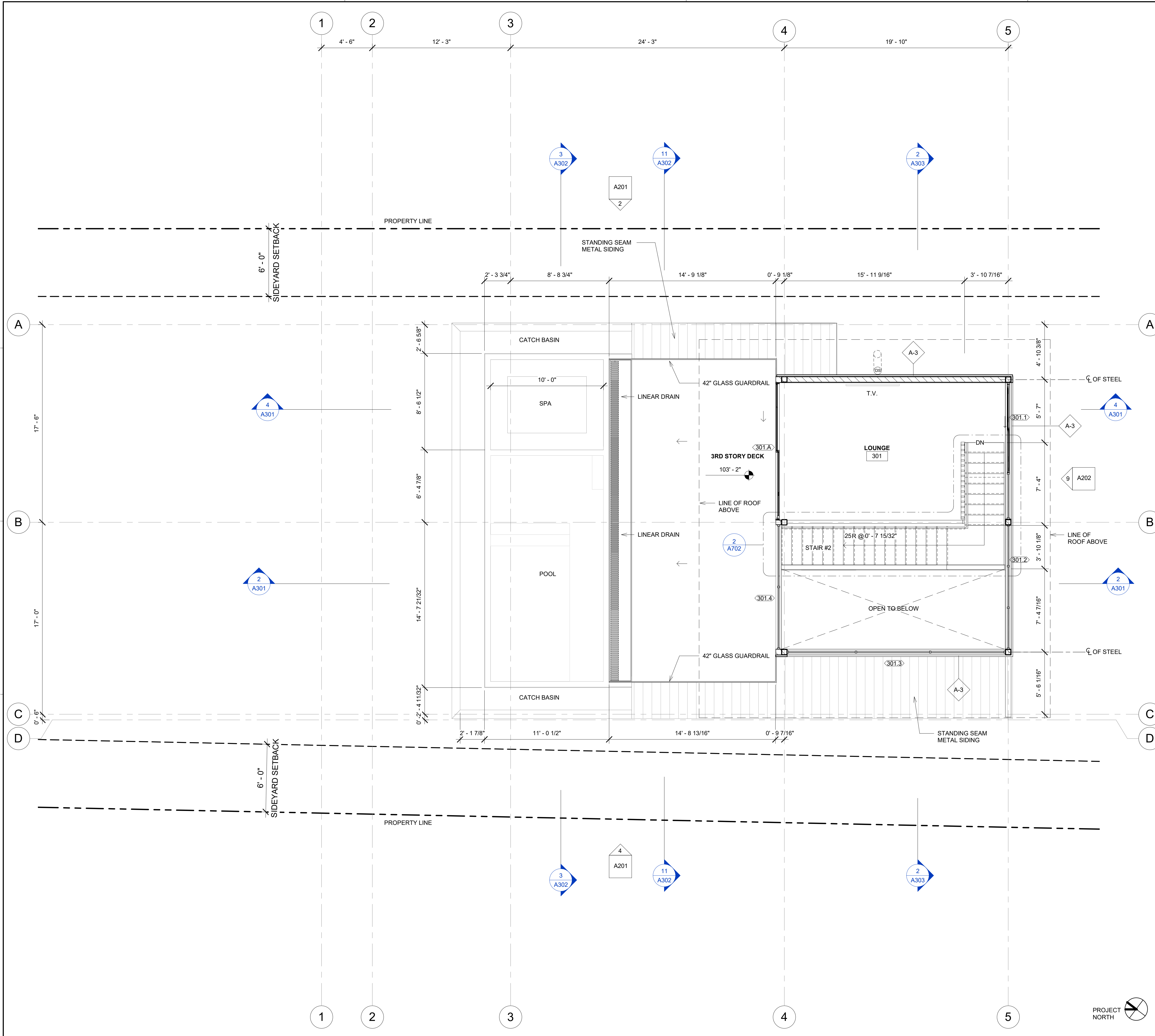


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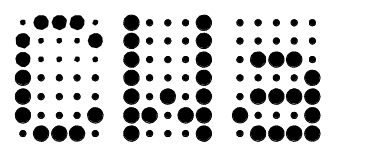


CONSTRUCTION PLAN LEGEND

- CONCRETE WALL, RE. STRUCT DWGS
- 2X6 WOOD FRAMING
- 2X4 WOOD FRAMING
- 1 HR. FIRE SEPARATION
- MILLWORK
- ROOM**
- ROOM NAME
- ROOM NUMBER
- REVISION TAG
- REVISION TAG
- REVISION TAG
- REVISION TAG
- FLOOR BOWER OUTLET
- FLOOR DATA OULET
- FLOOR FINISH DESIGNATION, SEE FINISH SCHEDULE
- DOWNSPOUT

CONSTRUCTION PLAN SHEET NOTES

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3. SEE A802 FOR DOOR AND HARDWARE SCHEDULE AND TYPES.
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PLAYA DEL REY HOUSE

206 E. MONTREAL ST
 PLAYA DEL REY, CA 90293

KEYPLAN

PROJECT NO.: 2225
 DATE: 220727
 SCALE: 1/4" = 1'-0"

SHEET TITLE:

3RD STORY CONSTRUCTION PLAN

SHEET NO:

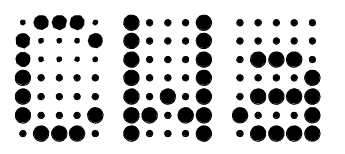
A113

DESIGN DEVELOPMENT

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REVISION LIST _____ DATE _____

PLAYA DEL REY HOUSE

206 E. MONTREAL ST
 PLAYA DEL REY, CA 90293

KEYPLAN

PROJECT NO.: 2225
 DATE: 220727
 SCALE: 1/4" = 1'-0"

SHEET TITLE:

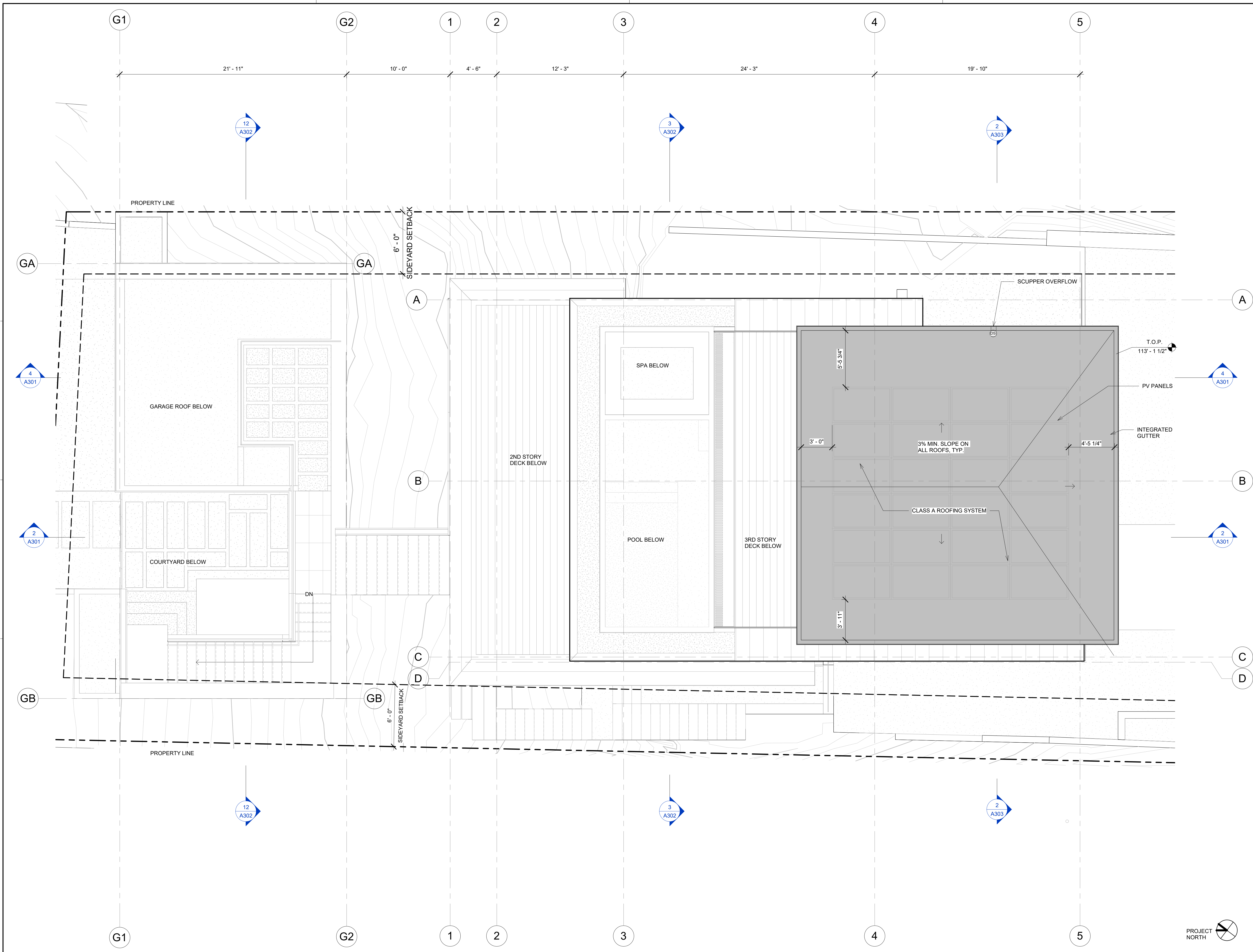
ROOF PLAN

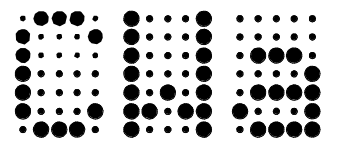
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A114

DESIGN DEVELOPMENT

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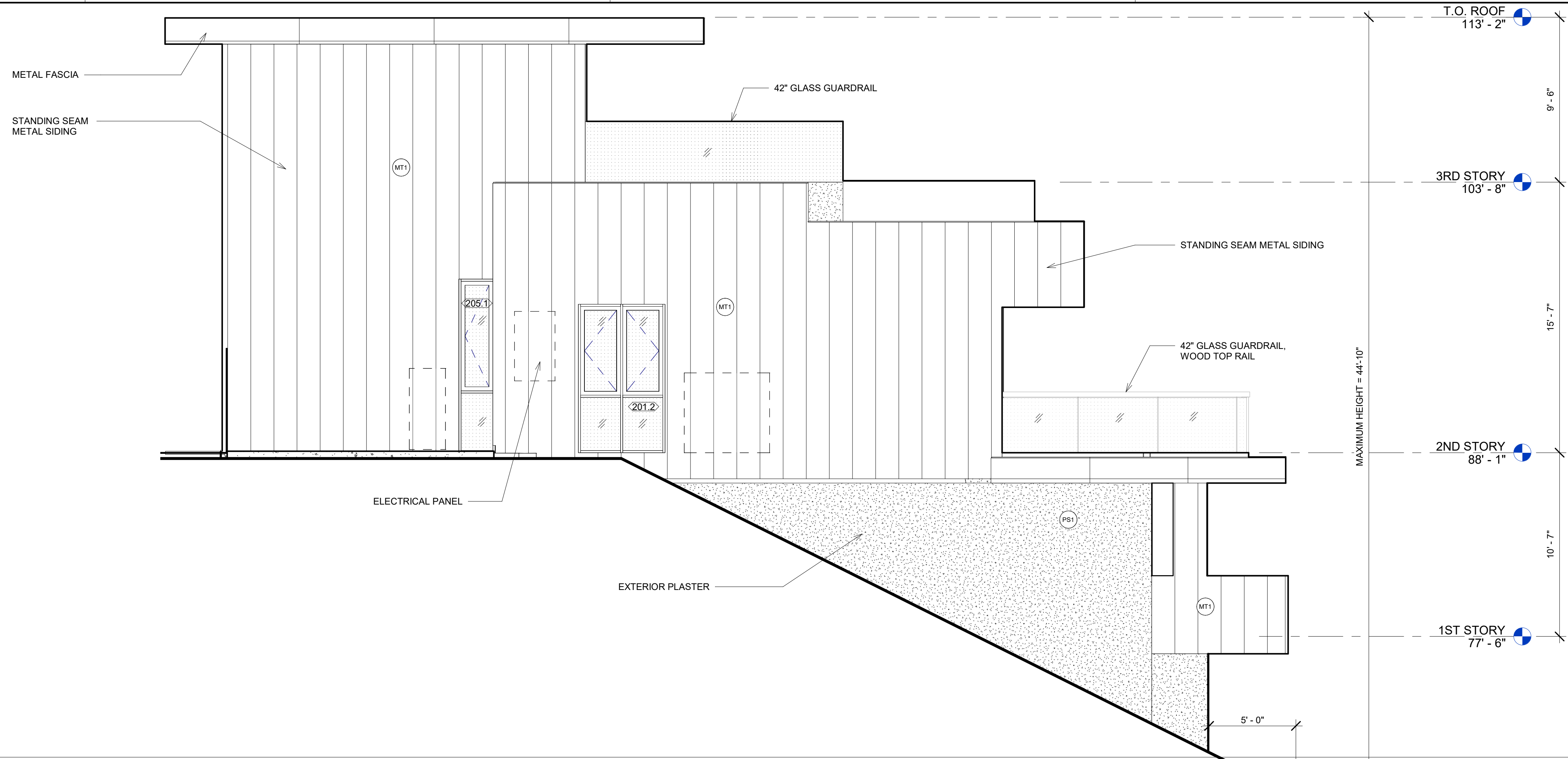
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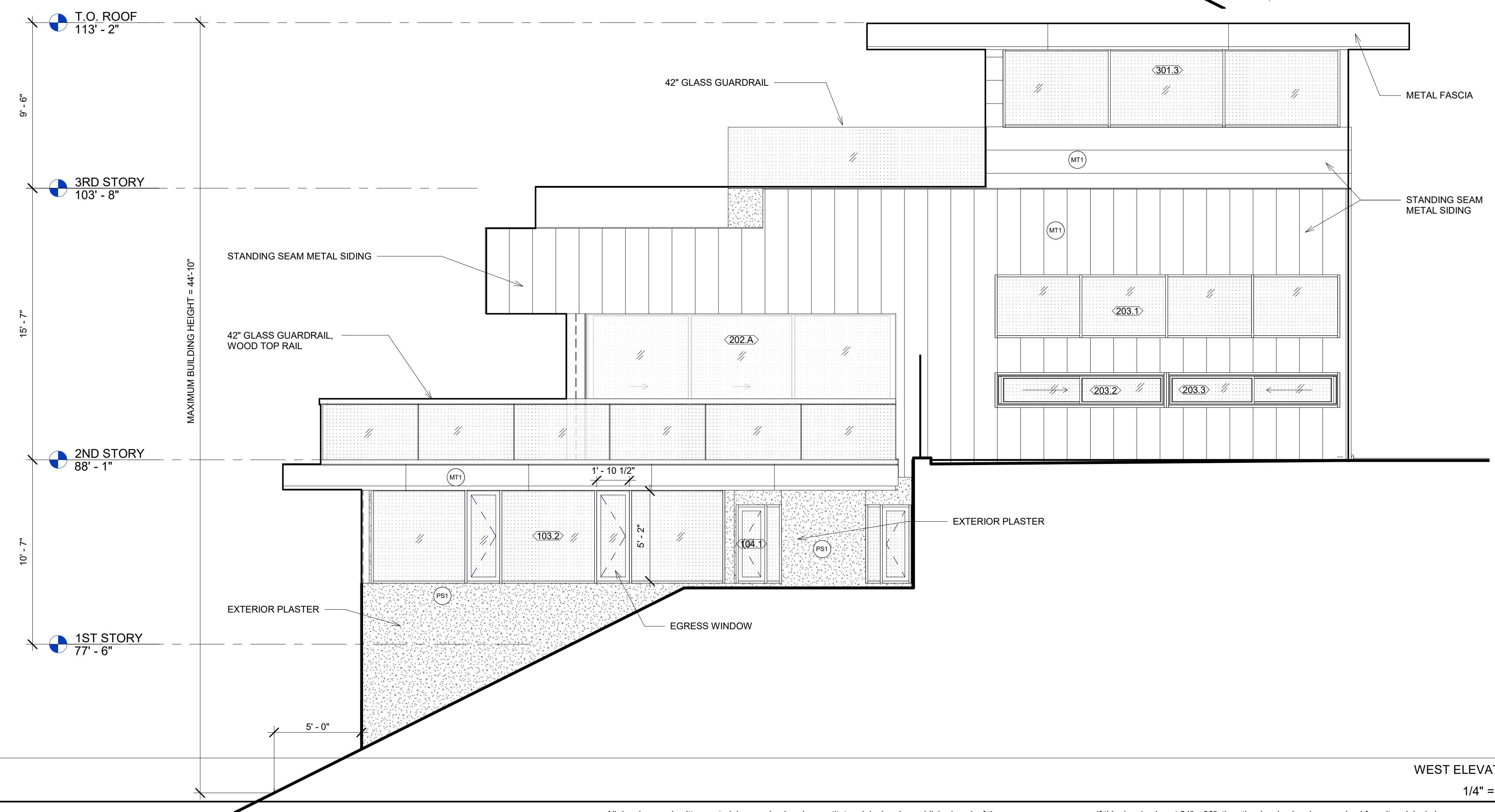
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ISSUES _____ DATE _____

REVISION LIST _____ DATE _____



EAST ELEVATION 2
 1/4" = 1'-0" A201



WEST ELEVATION 4
 1/4" = 1'-0" A201

PLAYA DEL REY HOUSE

206 E. MONTREAL ST
 PLAYA DEL REY, CA 90293

KEYPLAN

PROJECT NO.: 2225
 DATE: 220727
 SCALE: 1/4" = 1'-0"

SHEET TITLE:
BUILDING ELEVATIONS

SHEET NO:

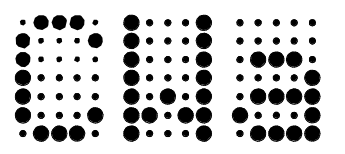
A201

DESIGN DEVELOPMENT

5/3/2023 2:56:41 PM

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ISSUES	DATE
--------	------

REVISION LIST	DATE
---------------	------

PLAYA DEL REY HOUSE

206 E. MONTREAL ST
 PLAYA DEL REY, CA 90293

KEYPLAN

PROJECT NO.: 2225
 DATE: 220727
 SCALE: 1/4" = 1'-0"

SHEET TITLE:

BUILDING ELEVATIONS

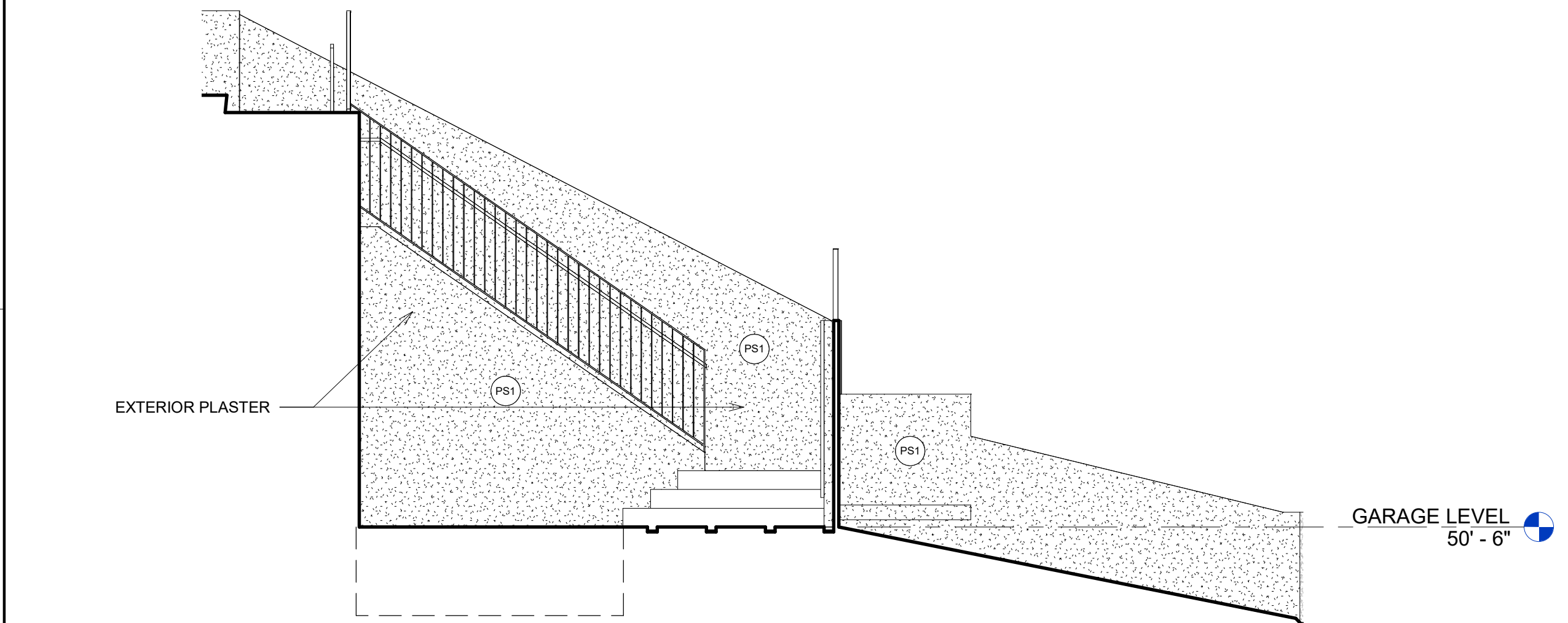
SHEET NO:

A202

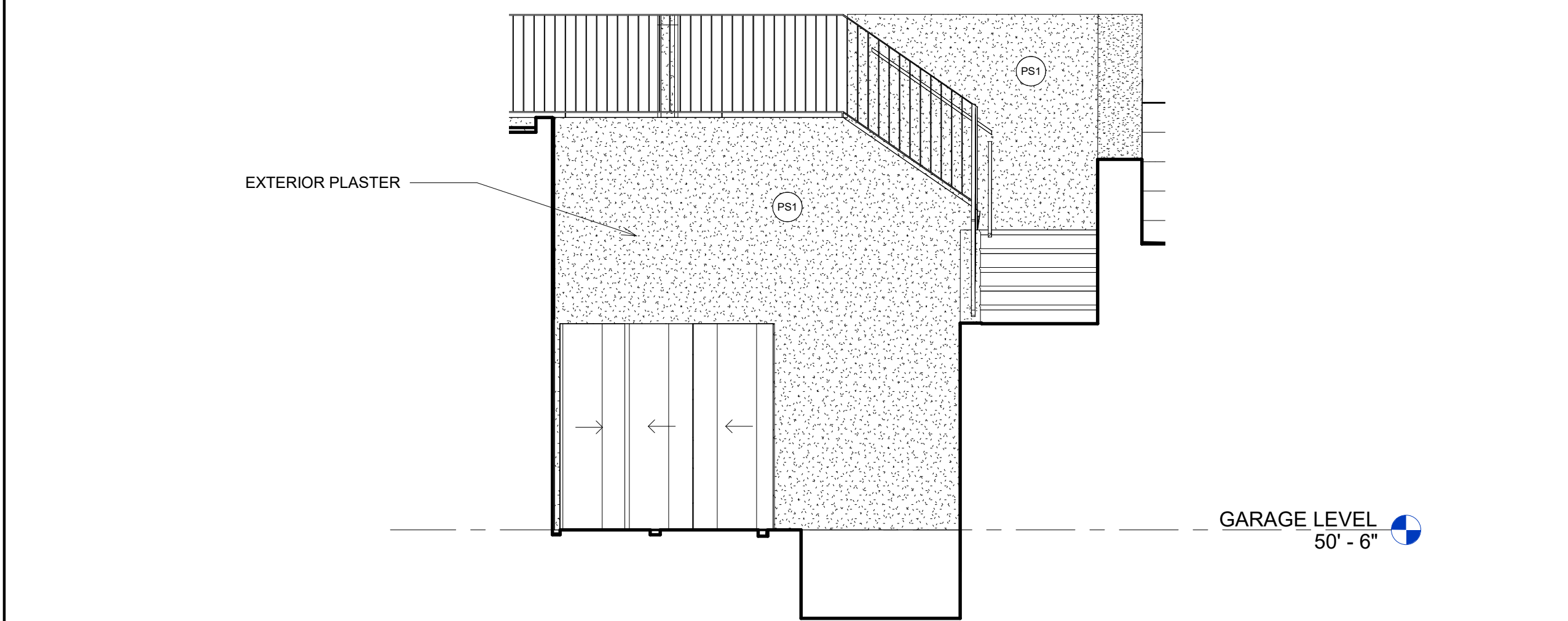
DESIGN DEVELOPMENT



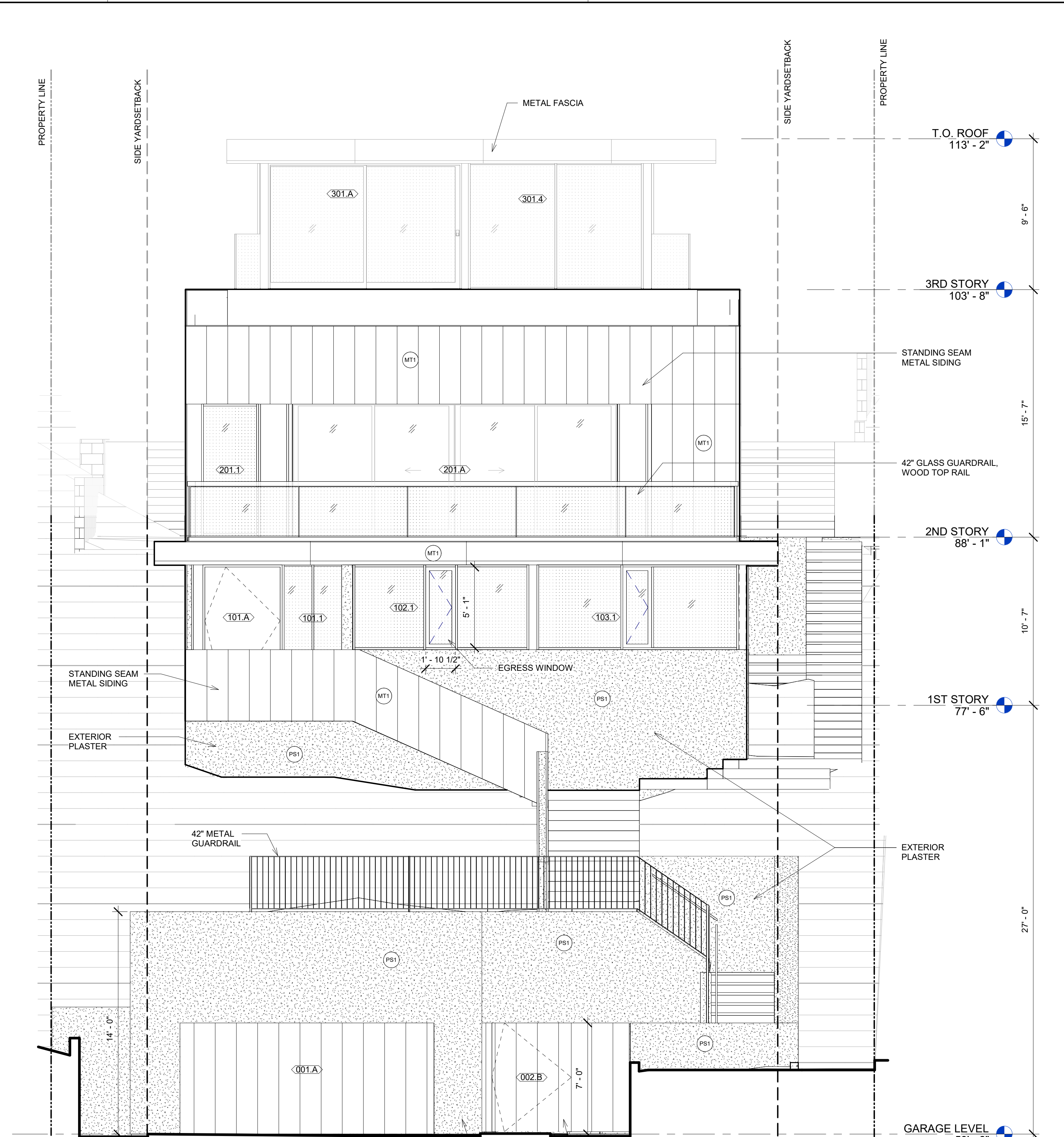
SOUTH ELEVATION 9
 1/4" = 1'-0" A202



COURTYARD ELEVATION - WEST 11
 1/4" = 1'-0" A202



COURTYARD ELEVATION - SOUTH 12
 1/4" = 1'-0" A202

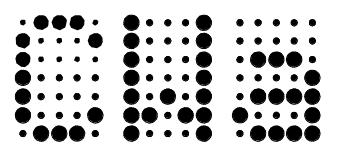


NORTH ELEVATION 4
 1/4" = 1'-0" A202

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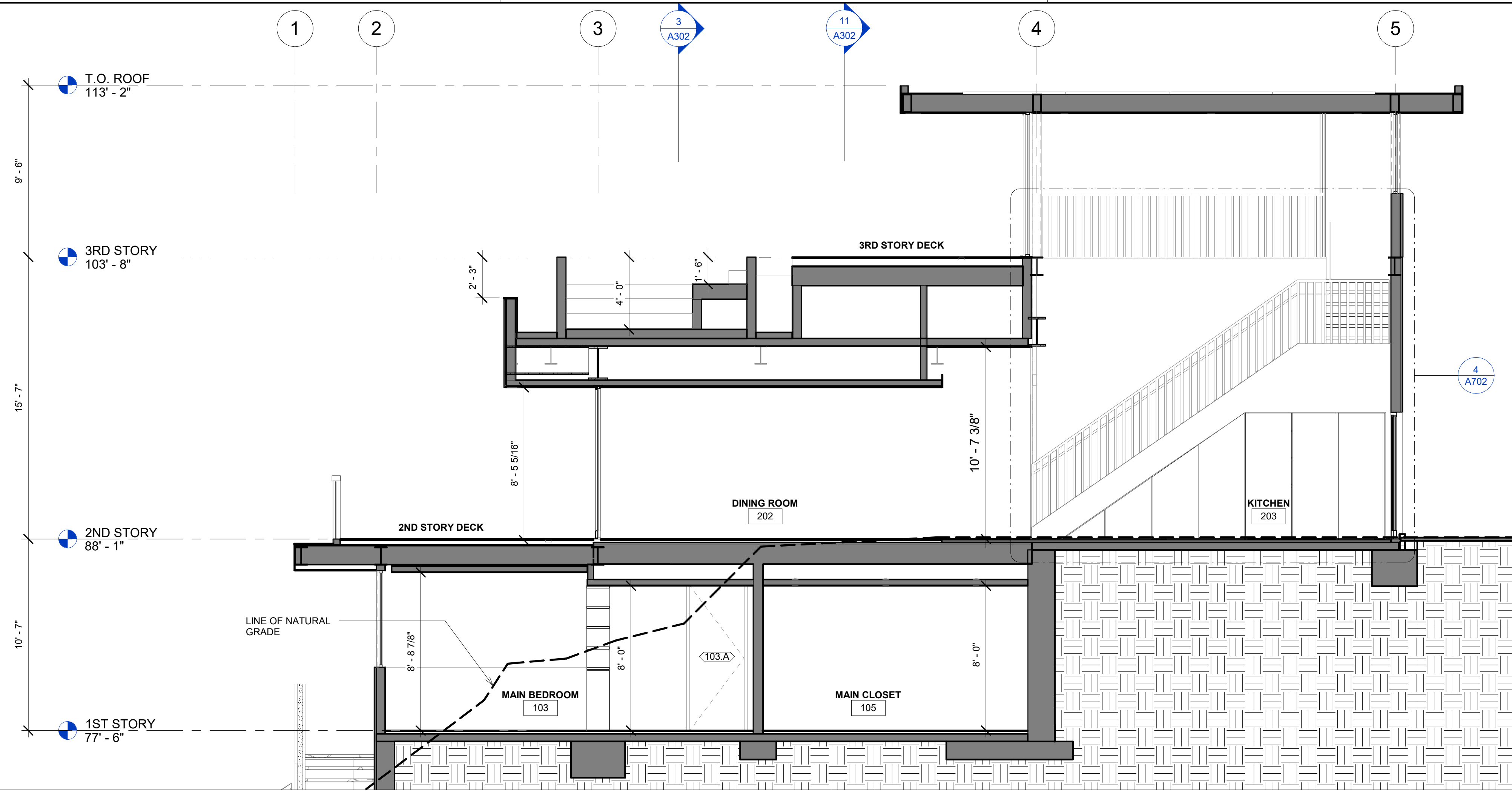


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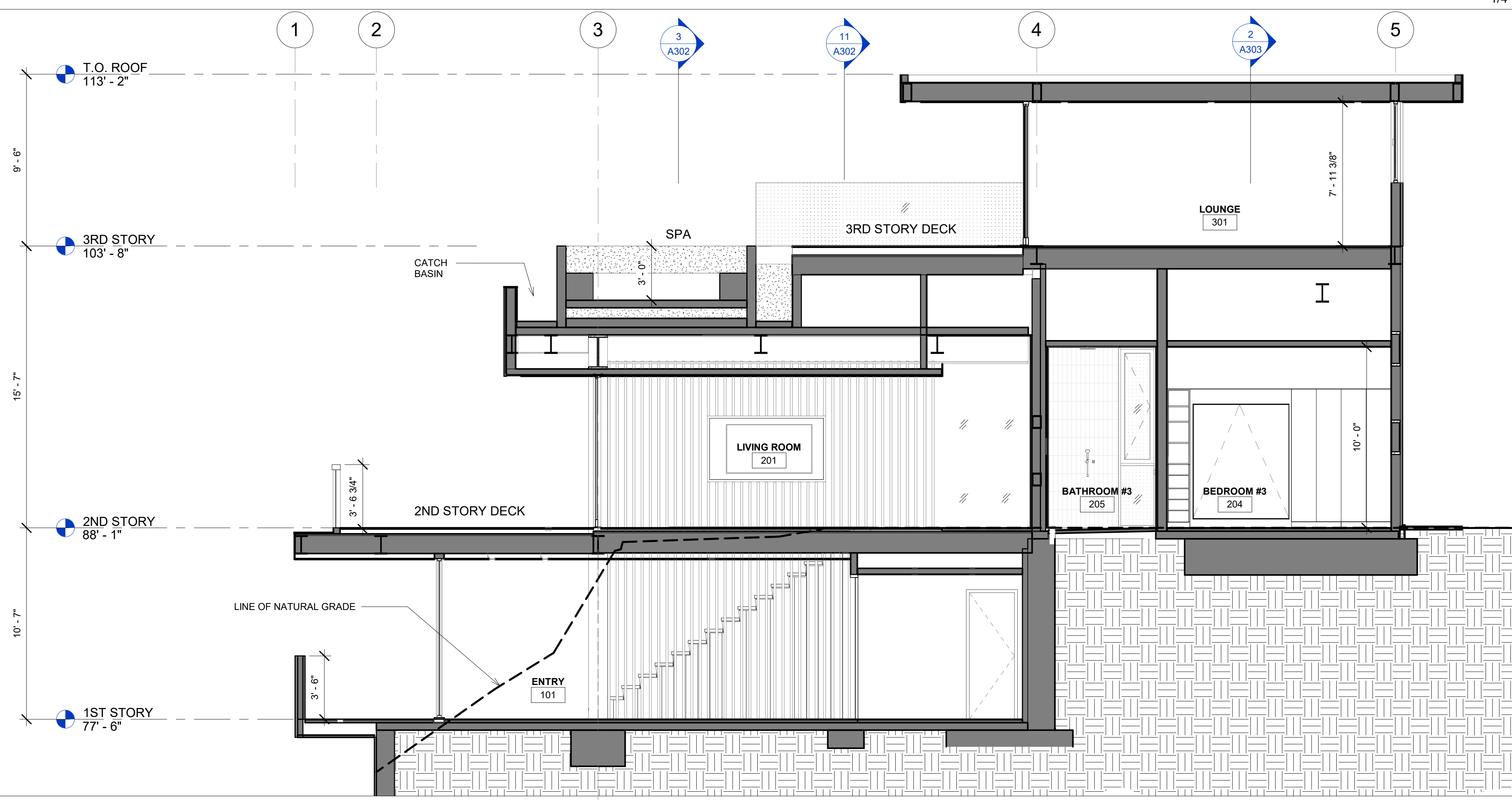
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 The drawings and specifications indicate the general scope of work and required technical performance of the building systems and do not necessarily indicate or describe all the work required for full performance and completion of the construction contract. Based on the scope of work indicated Contractor shall furnish all items required for the proper execution of the project.

ISSUES _____ DATE _____

REVISION LIST _____ DATE _____



HOUSE SECTION A 2
 1/4" = 1'-0" A301



HOUSE SECTION B 4
 1/4" = 1'-0" A301

PLAYA DEL REY HOUSE

206 E. MONTREAL ST
 PLAYA DEL REY, CA 90293

KEYPLAN

PROJECT NO.: 2225
 DATE: 220727
 SCALE: 1/4" = 1'-0"

SHEET TITLE:
SECTIONS

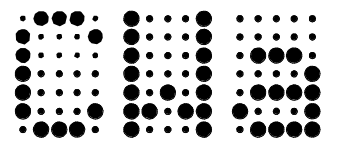
SHEET NO.:
A301

DESIGN DEVELOPMENT

5/3/2023 2:56:44 PM

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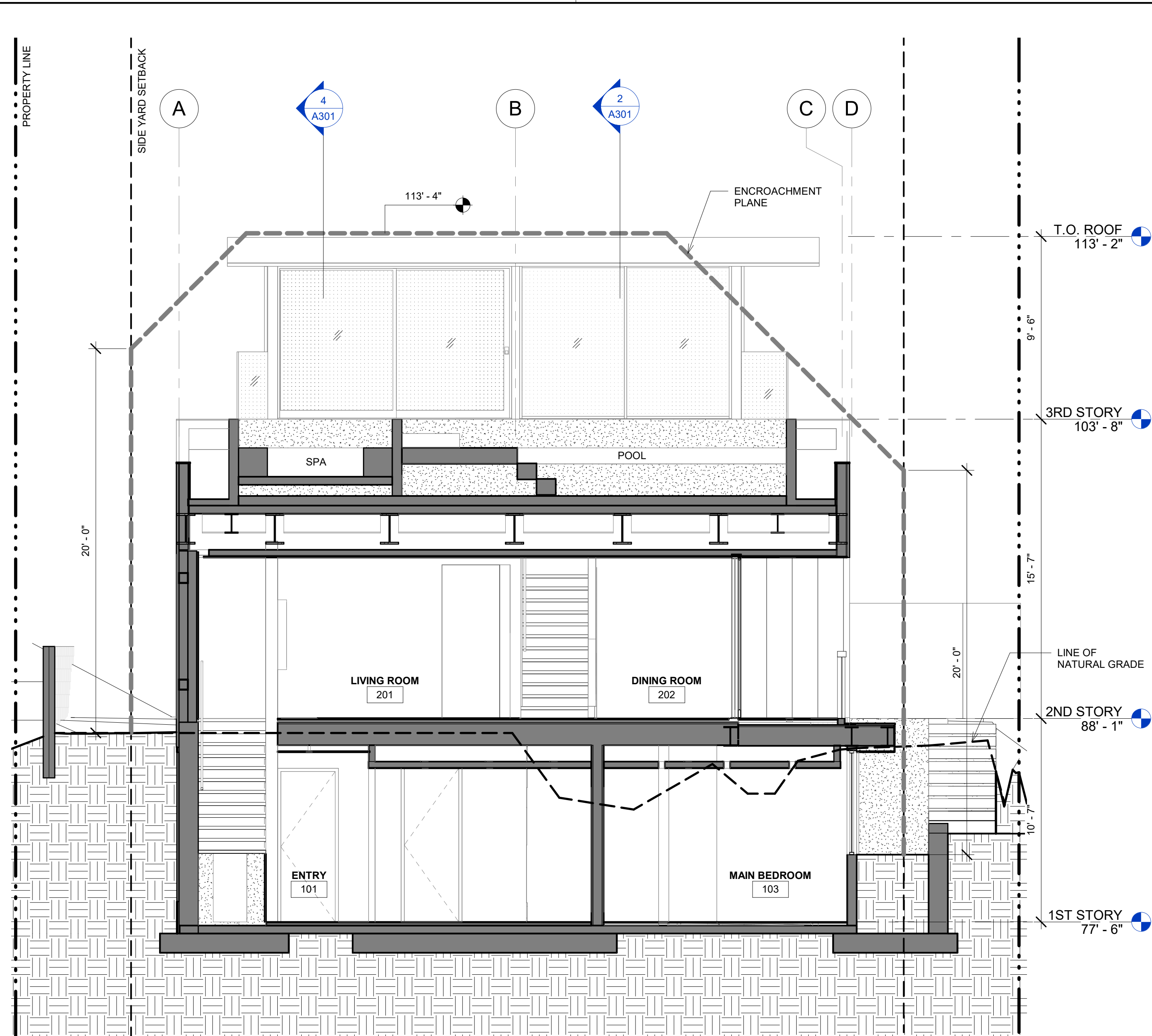
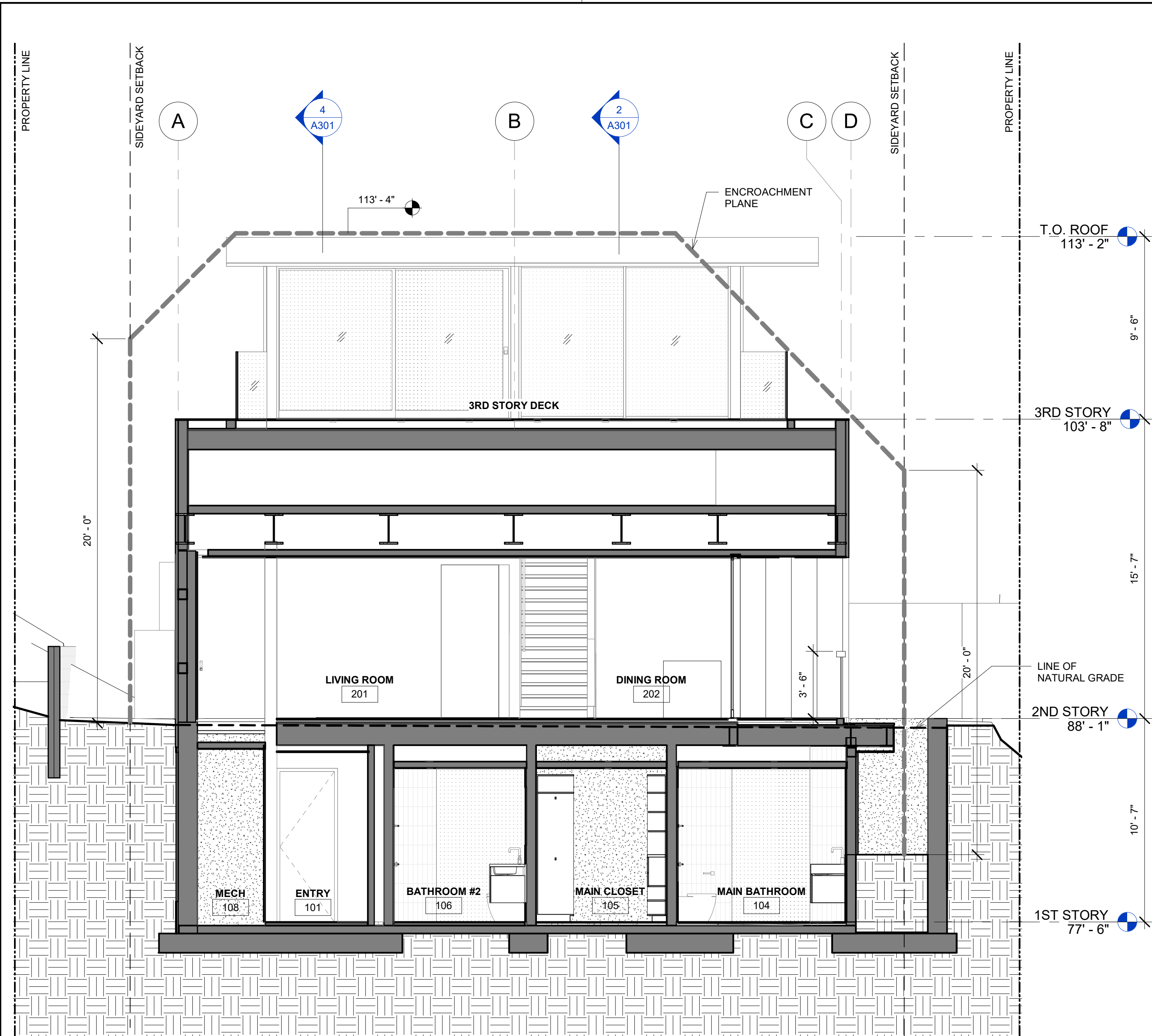


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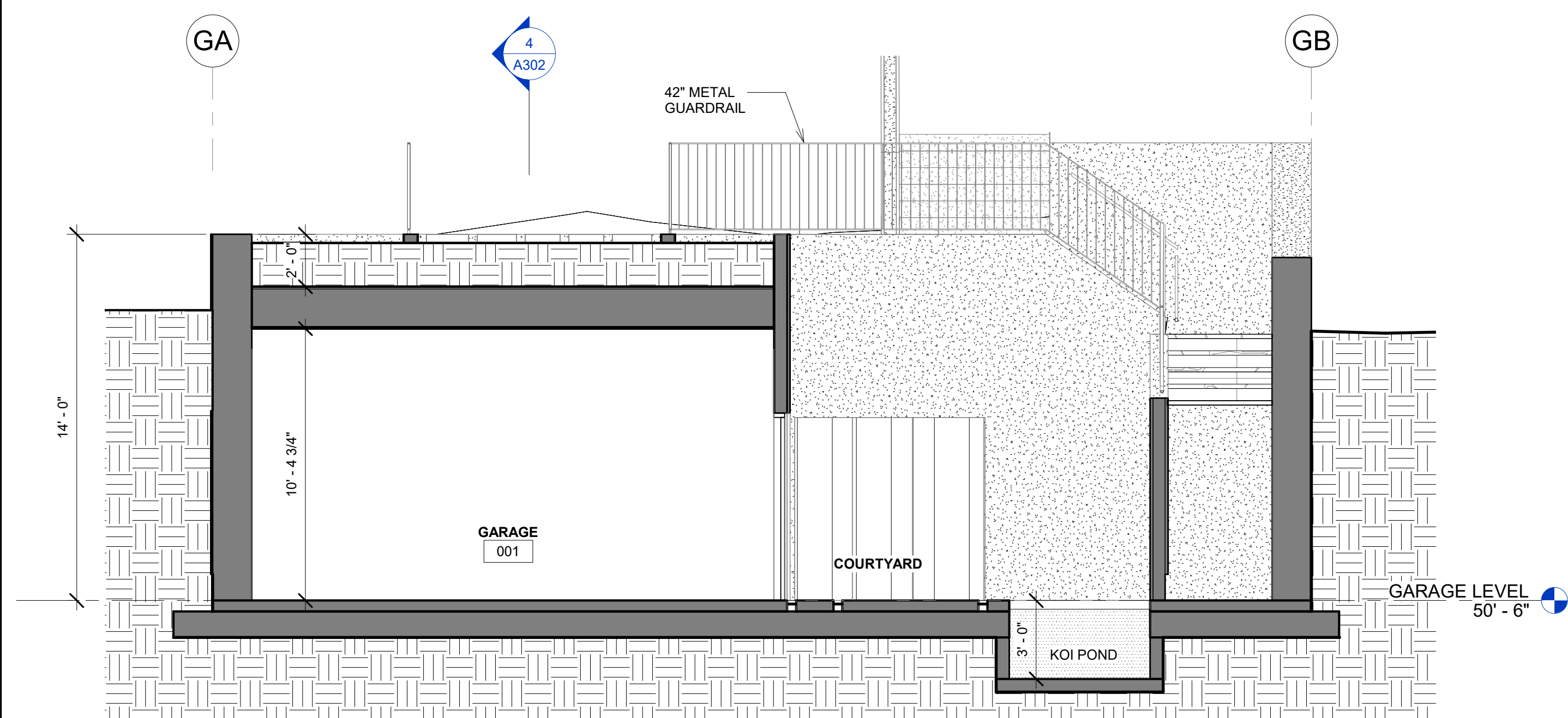
ISSUES _____ DATE _____

REVISION LIST _____ DATE _____

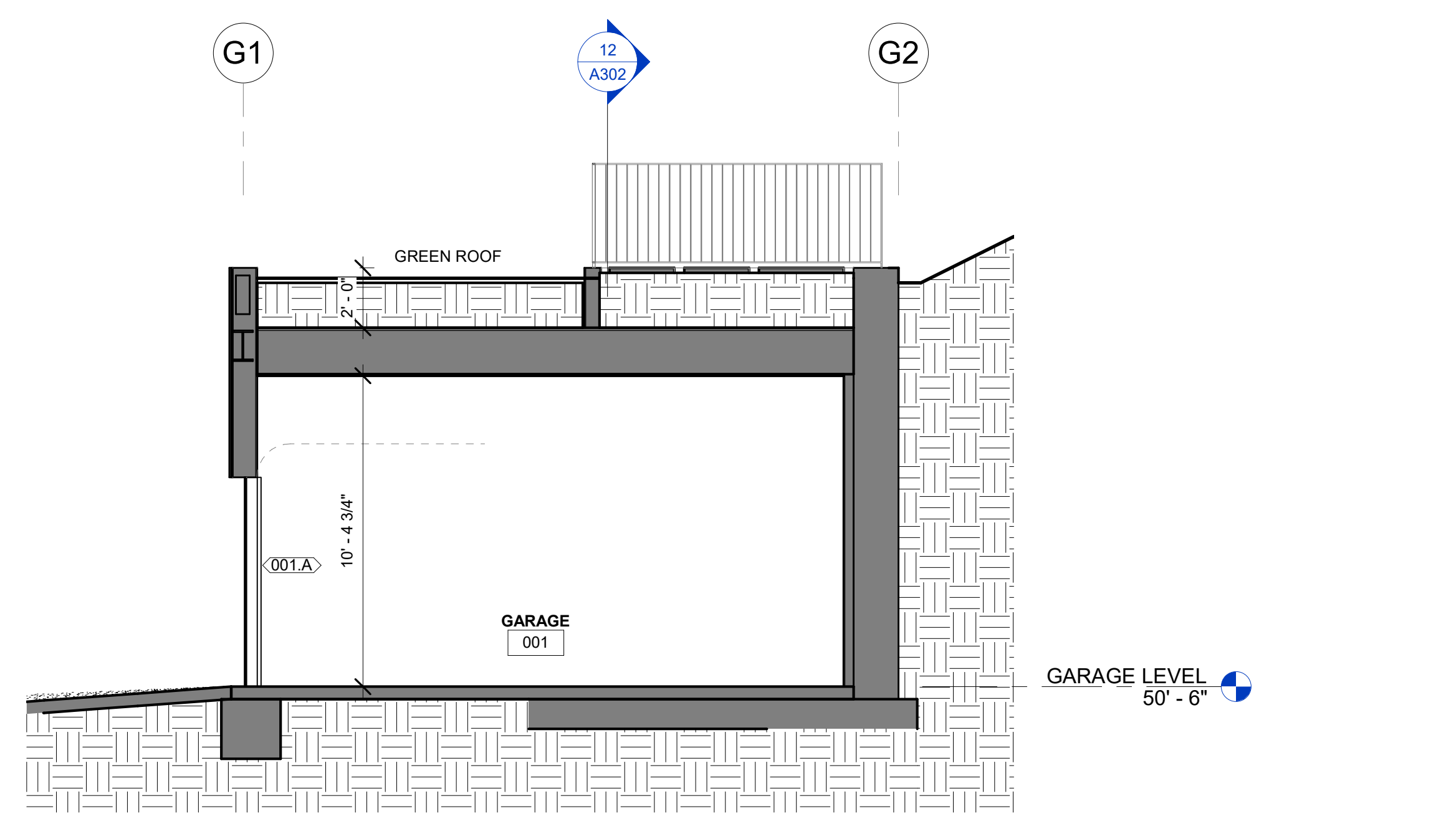


HOUSE SECTION D 11
 1/4" = 1'-0" A302

HOUSE SECTION C 3
 1/4" = 1'-0" A302



GARAGE SECTION B 12
 1/4" = 1'-0" A302



GARAGE SECTION A 4
 1/4" = 1'-0" A302

PLAYA DEL REY HOUSE

206 E. MONTREAL ST
 PLAYA DEL REY, CA 90293

KEYPLAN

PROJECT NO.: 2225
 DATE: 220727
 SCALE: 1/4" = 1'-0"

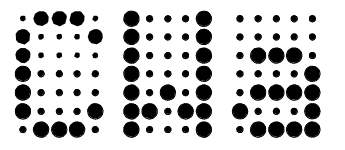
SHEET TITLE:
SECTIONS

SHEET NO.:

A302

DESIGN DEVELOPMENT

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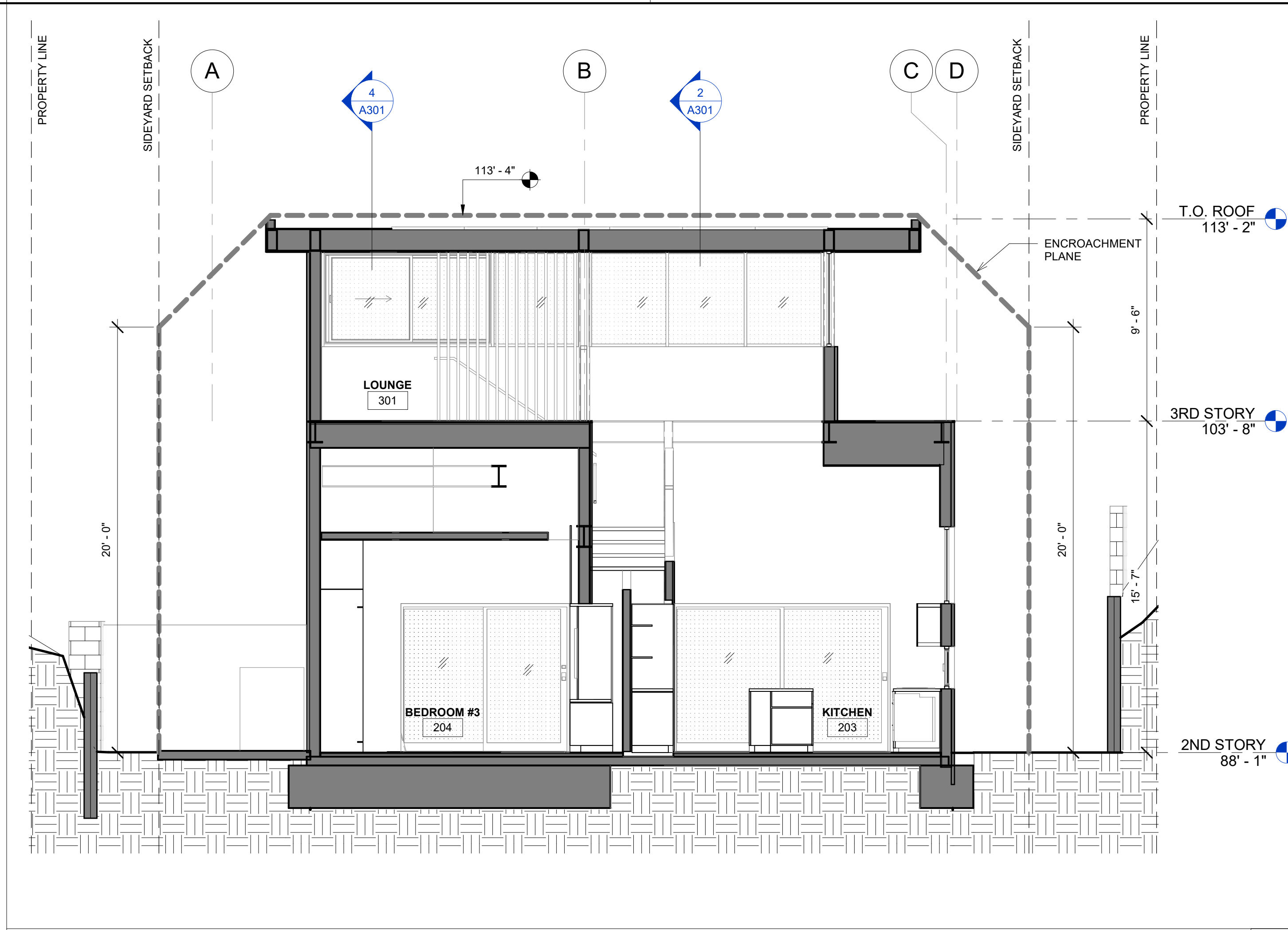
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ISSUES _____ DATE _____

REVISION LIST _____ DATE _____



HOUSE SECTION E 2
 1/4" = 1'-0" A303

PLAYA DEL REY HOUSE

206 E. MONTREAL ST
 PLAYA DEL REY, CA 90293

KEYPLAN

PROJECT NO.: 2225
 DATE: 220727
 SCALE: 1/4" = 1'-0"

SHEET TITLE:

SECTIONS

SHEET NO:

A303

DESIGN DEVELOPMENT

5/5/2023 5:09:42 PM

NOTICE TO CONTRACTORS:

- SITE TO BE BUILT PER PERMITTED PLANS, ONLY PERMITTED CONSTRUCTION DOCUMENTS SHALL BE USED FOR BIDDING OR CONSTRUCTION PURPOSES. ALL OTHER PLANS ARE NOT FOR CONSTRUCTION. DO NOT GIVE FINAL BIDS ON PLANS THAT HAVE ONLY BEEN SUBMITTED TO THE BUILDING DEPARTMENT AND NOT APPROVED. THE CONTRACTOR SHALL VERIFY CONDITIONS AND REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND SITE CONDITIONS, OR BETWEEN THE GRADING AND THE ARCHITECTURAL PLANS TO THE ENGINEER BEFORE FINAL BIDDING AND/OR CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD IN WRITTEN FORM EXPLAINING THE DISCREPANCY. ALL GRADING AND DRAINAGE CONSTRUCTION QUESTIONS ARE TO BE WRITTEN FORM AND SENT TO THE ENGINEER OF RECORD AT CW HOWE PARTNERS INC. (FAX: (310) 838-5380) AND ALSO SENT TO THE ARCHITECT OR RECORD BY THE GENERAL CONTRACTOR AND/OR SUBCONTRACTORS.
- ALL WORK PERFORMED SHALL CONFORM TO THE LATEST SPPWC GREENBOOK SPECIFICATIONS, UNLESS OTHERWISE STATED. THE CONTRACTOR SHALL PERFORM ALL THE WORK SPECIFIED ON THE DRAWINGS AND WITHIN THE VARIOUS NOTES SHOWN HEREON.
- ALL OFFSITE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL GOVERNING AGENCY. CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED CONSTRUCTION PERMITS.
- CONTRACTOR TO CONSTRUCT DESIGN GRADES SHOWN ON PLAN, CONSTRUCT STRAIGHT GRADE BETWEEN INDICATED ELEVATIONS UNLESS INTERRUPTED BY A GRADE CHANGE LINE. ANY DEVIATIONS FROM GRADING PLAN MUST HAVE PRIOR APPROVAL OF THE PROJECT ENGINEER.
- NO CRUSHING OF EXISTING ASPHALTIC CONCRETE PAVEMENT IS ALLOWED ON SITE.
- THE EXISTING CONDITIONS SHOWN ON THE PLANS WERE OBTAINED FROM AS-BUILT DRAWINGS AND FIELD SURVEY PROVIDED BY BECKER AND MIYAMOTO, INC., DATED JULY 11, 2022 IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE JOB SITE AND VERIFY THE EXACT EXISTING CONDITIONS BEFORE SUBMITTING HIS BID.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL JOIN CONDITIONS FOR GRADING AND DRAINAGE WORK. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER OR THE ARCHITECT AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE DISCREPANCY HAS BEEN EVALUATED.
- THE EXISTENCE, LOCATION AND CHARACTERISTICS OF UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS HAS BEEN OBTAINED FROM A REVIEW OF AVAILABLE RECORD DATA.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS, THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS, THE SOILS AND/OR GEOLOGY REPORTS, AND THE SITE CONDITIONS PRIOR TO COMMENCING WORK.
- SHOULD CONFLICTING INFORMATION BE FOUND ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE PROJECT ARCHITECT OR THE ENGINEER BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- THE CONTRACTOR SHALL OBTAIN AN O.S.H.A. PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE CONSTRUCTION OF TRENCHES OR EXCAVATIONS, WHICH ARE 5 FEET OR DEEPER.
- CONSTRUCTION SHALL BE RESTRICTED TO THE HOURS OF 7:00AM TO 6:00PM MONDAY THROUGH FRIDAY, AND 8:00AM TO 2:00PM ON SATURDAY.
- THE PROJECT SPONSOR MUST COMPLY WITH THE NOISE INSULATION STANDARDS OF TITLE 24 OF THE CALIFORNIA CODE REGULATIONS, WHICH INSURE AN ACCEPTABLE INTERIOR NOISE ENVIRONMENT.

GENERAL SPECIFICATIONS FOR ALL GRADING PLANS:

- THIS GRADING PLAN HAS BEEN REVIEWED BY THE GEOTECHNICAL ENGINEER AND IS ACCEPTABLE IN REGARD TO SOILS (AND GEOLOGIC, IF APPLICABLE) CONDITIONS AND CONFORMS TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT REPORT NUMBER _____ DATED _____ AND UPDATED _____ PREPARED BY _____
 BY _____ GEOTECHNICAL ENGINEER G.E.
 BY _____ ENGINEERING GEOLOGIST C.E.G.
- CONTINUOUS INSPECTION BY THE SOILS ENGINEER/GEOLOGIST IS REQUIRED FOR _____

CITY OF LOS ANGELES BUILDING AND SAFETY GRADING NOTES:

- ALL GRADING SLOPES SHALL BE PLANTED AND SPRINKLED. (7012.1)
- STANDARD 12 INCH HIGH BERM IS REQUIRED AT TOP OF ALL GRADED SLOPES. (7013.3)
- NO FILL TO BE PLACED, UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.
- MAN-MADE FILL SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90% MAX. DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE AND 93% OF MAX. DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90% OF MAX. DRY DENSITY) IS JUSTIFIED BY THE SOILS ENGINEER.
- TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 15. OBTAIN GRADING INSPECTOR'S AND DEPARTMENT OF PUBLIC WORKS APPROVAL OF PROPOSED PROCEDURES. [>200 CY] (7007.1).

PRECISE GRADING AND DRAINAGE PLAN

PLAYA DEL REY HOUSE
209 MONTREAL STREET
PLAYA DEL REY, CA 90293

SHEET INDEX

SHEET NO.	DESCRIPTION
C1	TITLE SHEET AND GENERAL NOTES
C1.1	SOILS APPROVAL LETTER
C2	PRECISE GRADING PLAN – GARAGE LEVEL
C2.1	PRECISE GRADING PLAN – UPPER LEVEL
C2.2	CROSS SECTIONS
C3	LID PLAN
C3.1	LID EXHIBIT
C3.2	LID DOCUMENTS
C4	EROSION CONTROL DETAILS

LEGEND AND SYMBOLS:

PROPERTY LINE	---
CENTERLINE	---
STORM DRAIN	SD
SUB DRAIN	Sub
PROP ELEVATION	52.39
EXIST ELEVATION	52.39

ABBREVIATIONS:

EG	EDGE OF GUTTER
FG	FINISHED GRADE
FS	FINISHED SURFACE
FL	FLOW LINE
HP	HIGH POINT
INV	INVERT
LP	LOW POINT
PROP	PROPOSED
ROW	RIGHT OF WAY
SD	STORM DRAIN
SPPWC	STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION
STD	STANDARD
TG	TOP OF GRATE

AIR QUALITY:

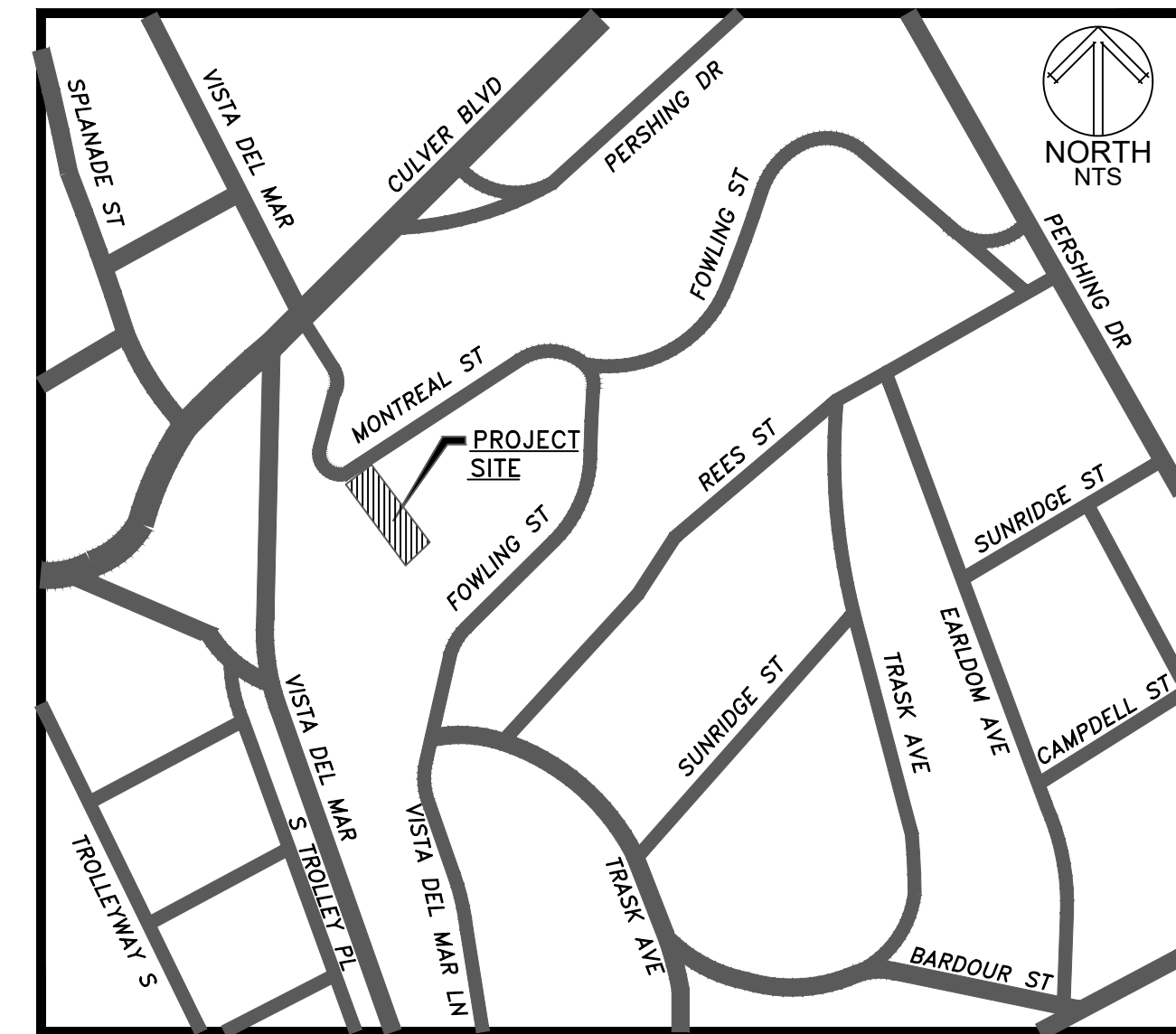
- ALL UNPAVED DEMOLITION AND CONSTRUCTION AREAS SHALL BE WETTED AT LEAST TWICE DAILY DURING EXCAVATION AND CONSTRUCTION, AND TEMPORARY DUST COVERS SHALL BE USED TO REDUCE DUST EMISSIONS AND MEET SCA/QMD DISTRICT RULE 403. WETTING COULD REDUCE FUGITIVE DUST BY AS MUCH AS 50 PERCENT.
- THE OWNER OR CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA SUFFICIENTLY DAMPENED TO CONTROL DUST CAUSED BY GRADING AND HAULING, AND AT ALL TIMES PROVIDE REASONABLE CONTROL OF DUST CAUSED BY WIND.
- ALL LOADS SHALL BE SECURED BY TRIMMING, WATERING OR OTHER APPROPRIATE MEANS TO PREVENT SPILLAGE AND DUST.
- ALL MATERIALS TRANSPORTED OFF-SITE SHALL BE EITHER SUFFICIENTLY WATERED OR SECURELY COVERED TO PREVENT EXCESSIVE AMOUNT OF DUST.
- ALL CLEARING, GRADING, EARTH MOVING, OR EXCAVATION ACTIVITIES SHALL BE DISCONTINUED DURING PERIODS OF HIGH WINDS (I.E., GREATER THAN 15 MPH), SO AS TO PREVENT EXCESSIVE AMOUNTS OF DUST.
- GENERAL CONTRACTORS SHALL MAINTAIN AND OPERATE CONSTRUCTION EQUIPMENT SO AS TO MINIMIZE EXHAUST EMISSIONS.

GENERAL CONSTRUCTION:

- SEDIMENT CARRIES WITH IT OTHER WORK-SITE POLLUTANTS SUCH AS PESTICIDES, CLEANING SOLVENTS, CEMENT WASH, ASPHALT, AND CAR FLUIDS THAT ARE TOXIC TO SEA LIFE.
- ALL WASTE SHALL BE DISPOSED OF PROPERLY. USE APPROPRIATELY LABELED RECYCLING BINS TO RECYCLE CONSTRUCTION MATERIALS INCLUDING: SOLVENTS, WATER-BASED PAINTS, VEHICLE FLUIDS, BROKEN ASPHALT AND CONCRETE, WOOD, AND VEGETATION. NON RECYCLABLE MATERIALS/WASTES MUST BE TAKEN TO AN APPROPRIATE LANDFILL. TOXIC WASTES MUST BE DISCARDED AT A LICENSED REGULATED DISPOSAL SITE.
- CLEAN UP LEAKS, DRIPS AND SPILLS IMMEDIATELY TO PREVENT CONTAMINATED SOIL ON PAVED SURFACES THAT CAN BE WASHED AWAY INTO THE STORM DRAINS.
- DO NOT HOSE DOWN PAVEMENT AT MATERIAL SPILLS. USE DRY CLEANUP METHODS WHENEVER POSSIBLE.
- COVER AND MAINTAIN DUMPSTERS. PLACE UNCOVERED DUMPSTERS UNDER A ROOF OR COVER WITH TARPS OR PLASTIC SHEETING.
- USE GRAVEL APPROACHES WHERE TRUCK TRAFFIC IS FREQUENT TO REDUCE SOIL COMPACTION AND LIMIT THE TRACKING OF SEDIMENT INTO STREETS.
- CONDUCT ALL VEHICLE/EQUIPMENT MAINTENANCE, REPAIR, AND WASHING AWAY FROM STORM DRAINS. ALL MAJOR REPAIRS ARE TO BE CONDUCTED OFF-SITE. USE DRIP PANS OR DROP CLOTHES TO CATCH DRIPS AND SPILLS.

NOISE:

- THE PROJECT SHALL COMPLY WITH THE CITY OF LOS ANGELES NOISE ORDINANCE NO. 144,331 AND 161,574, AND ANY SUBSEQUENT ORDINANCE, WHICH PROHIBIT THE EMISSION OR CREATION OF NOISE BEYOND CERTAIN LEVELS AT ADJACENT USES UNLESS TECHNICALLY INFEASIBLE.
- CONSTRUCTION SHALL BE RESTRICTED TO THE HOURS OF 7:00 AM TO 6:00 PM MONDAY THROUGH FRIDAY, AND 8:00 AM TO 2:00 PM ON SATURDAY.
- CONSTRUCTION ACTIVITIES SHALL BE SCHEDULED SO AS TO AVOID OPERATING SEVERAL PIECES OF EQUIPMENT SIMULTANEOUSLY, WHICH CAUSES HIGH NOISE LEVELS.
- THE PROJECT CONTRACTOR SHALL USE POWER CONSTRUCTION EQUIPMENT WITH STATE-OF-THE-ART NOISE SHIELDING AND MUFFLING DEVICES.
- THE PROJECT SPONSOR MUST COMPLY WITH THE NOISE INSULATION STANDARD OF TITLE 24 OF THE CALIFORNIA CODE REGULATIONS, WHICH INSURE AN ACCEPTABLE INTERIOR NOISE ENVIRONMENT.



VICINITY MAP
LOS ANGELES COUNTY THOMAS GUIDE PAGE 702, GRID A3

DUST CONTROL MEASURES:

DUST CONTROL MEASURES FOR THE PROJECT MUST COMPLY WITH THE REQUIREMENTS OF SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 403, FUGITIVE DUST, WHICH REQUIRES THE IMPLEMENTATION OF REASONABLY AVAILABLE CONTROL MEASURES (RACM) FOR ALL FUGITIVE DUST SOURCES, AND THE AIR QUALITY MANAGEMENT PLAN (AQMP), WHICH IDENTIFIES BEST AVAILABLE CONTROL MEASURES (BACM) AND BEST AVAILABLE CONTROL TECHNOLOGIES (BACT) FOR AREA SOURCES AND POINT SOURCES, RESPECTIVELY. STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION MEASURES (I.E., THE GREEN BOOK, SEC. 7-8.1 "CLEAN UP AND DUST CONTROL") TO CONTROL FUGITIVE DUST AND EQUIPMENT EXHAUST DURING CONSTRUCTION WILL BE ADHERED TO.

THE FOLLOWING MITIGATION MEASURES WILL BE IMPLEMENTED:

- COMPLY WITH THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT'S RULE 403;
- CONDUCT WATERING AS NECESSARY TO PREVENT VISIBLE DUST EMISSIONS OUTSIDE OF PROPERTY.
- SWEEP THE WORK AREA AT THE CLOSE OF OPERATIONS EACH DAY;
- SUSPEND TRENCHING AND BACKFILLING OPERATIONS WHEN THE WIND SPEED EXCEEDS 25 MPH;
- COVER ALL HAUL VEHICLES OR COMPLY WITH THE FREEBOARD REQUIREMENTS OF SECTION 23114 OF THE CALIFORNIA VEHICLE CODE;
- TURN EQUIPMENT OFF WHEN NOT IN USE;
- SUSPEND CONSTRUCTION DURING SECOND STAGE SMOG ALERTS.

GRADING:

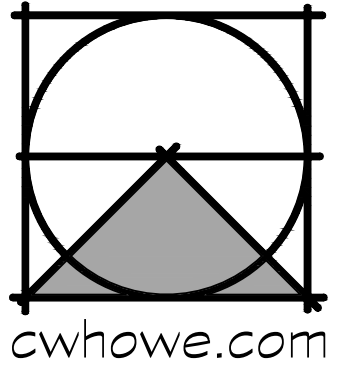
- CHAPTER IX, DIVISION 70 OF THE LOS ANGELES MUNICIPAL CODE ADDRESSES GRADING, EXCAVATIONS, AND FILLS. ALL GRADING ACTIVITIES REQUIRE GRADING PERMITS FROM THE DEPARTMENT OF BUILDING AND SAFETY. ADDITIONAL PROVISIONS ARE REQUIRED FOR GRADING ACTIVITIES WITHIN "HILLSIDE" AREAS. THE APPLICATION OF BMPS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING MITIGATION MEASURES:
- EXCAVATION AND GRADING ACTIVITIES SHALL BE SCHEDULED DURING DRY WEATHER PERIODS. IF GRADING OCCURS DURING THE RAINY SEASON (OCTOBER 1 THROUGH APRIL 15), CONSTRUCT DIVERSION DIKES TO CHANNEL RUNOFF AROUND THE SITE. LINE CHANNELS WITH GRASS OR ROUGHENED PAVEMENT TO REDUCE RUNOFF VELOCITY.
- INCORPORATE APPROPRIATE EROSION CONTROL AND DRAINAGE DEVICES TO THE SATISFACTION OF THE BUILDING AND SAFETY DEPARTMENT SHALL BE INCORPORATED, SUCH AS INTERCEPTOR TERRACES, BERMS, VEE-CHANNELS, AND INLET AND OUTLET STRUCTURES, AS SPECIFIED BY SECTION 91.7013 OF THE BUILDING CODE, INCLUDING PLANTING FAST-GROWING ANNUAL AND PERENNIAL GRASSES IN AREAS WHERE CONSTRUCTION IS NOT IMMEDIATELY PLANNED. THESE WILL SHIELD AND BIND THE SOIL.
- STOCKPILES AND EXCAVATED SOIL SHALL BE COVERED WITH SECURED TARPS OR PLASTIC SHEETING.

QUANTITIES:

EARTHWORK CALCULATIONS BREAKDOWN										
Project Name:		Snow Residence		Prepared for:		City of Los Angeles				
Project Number:		C-22C18		Date:		1-May-23				
TOTAL SITE GRADING										
	BERM	RETAINING WALL	DRIVEWAY	SITE GRADING	POOL/SPA	BUILDING	UNDERLAYING STRUCTURE	STRUCTURAL	TOTAL	
CUT	0	0	2	319	0	76	176	168	942	CY
FILL	0	0	0	34	0	0	0	0	34	CY
CUT + FILL	0	0	2	353	0	76	176	168	976	CY
EXPORT	0	0	2	286	0	76	176	168	906	CY
IMPORT	0	0	0	0	0	0	0	0	0	CY

SUMMARY:	
CUT AREA (SQ)	6049
EXPORT (CY)	953
IMPORT (CY)	0

THE ABOVE LISTED QUANTITIES REFLECT THE ENGINEER'S ESTIMATE OF THE ACTUAL VOLUMES OF MATERIAL CUT AND FILLED. THESE QUANTITIES ARE FOR DESIGN AND BIDDING PURPOSES ONLY. DUE TO UNFORSEEN SITE CONDITIONS THESE NUMBER MAY DIFFER FROM FINAL CUT AND FILL ON THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR COMPUTING HIS OWN QUANTITIES FOR CONTRACT AND CONSTRUCTION PURPOSES.



C. W. Howe Partners Inc.
Structural and Civil Engineering
4358 Sepulveda Blvd. Culver City, CA 90230
(310) 838-0383 office@cwhowe.com

NOT FOR CONSTRUCTION UNTIL SIGNED BY ENGINEER



PROJECT ADDRESS:
PLAYA DEL REY HOUSE
206 MONTREAL ST.
PLAYA DEL REY, CA 90293

SUBMITTALS	DATE
1ST	02 MAY 2023

REVISIONS	DATE
-----------	------

PROJECT INFO:
 APN: 4116-013-018
BENCHMARK:
 CITY OF LOS ANGELES BENCH MARK NO. 17-01970 CITY DISC *STMPD 26-M* IN 8IN MON;5FT N OF N CURB LINE CULVER BLVD; 20FT W OF W CURB LINE CULVER PLACE.
 ELEVATION 10.843 (1985 ADJ. NAVD 1929 DATUM)
BASIS OF BEARING:
 A BEARING OF N 55°52'01" E FOR THE SOUTHERLY LINE OF MONTREAL STREET (FORMERLY KNOWN AS MONTGOMERY AVENUE) AND TRANSFERRED TO CENTERLINE AS SHOWN ON THE MAP TRACT 8557, M.B. 103-1/3 WAS USED FOR THE BASIS OF BEARINGS.

SHEET NAME:

TITLE SHEET AND GENERAL NOTES

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PROJ. ENG. / DRAWN:	GG / GG	SHEET:	C1
REVIEWED:	<input type="checkbox"/>		
PROJECT No.:	C-22C18		



PROJECT ADDRESS:
PLAYA DEL REY HOUSE
206 MONTREAL ST.
PLAYA DEL REY, CA 90293

SUBMITTALS	DATE
1ST	02 MAY 2023
REVISIONS	DATE

PROJECT INFO:
APN: 4116-013-018
BENCHMARK:
CITY OF LOS ANGELES BENCH MARK
NO. 17-019190 CITY DISC *STMPD 26-M*
IN 8IN MON.5FT N OF N CURB LINE
CULVER BLVD. 20FT W OF W CURB
LINE CULVER PLACE.
ELEVATION 10.843 (1985 ADJ. NAVD
1929 DATUM)
BASIS OF BEARING:
A BEARING OF N 55°52'01" E FOR THE
SOUTHERLY LINE OF MONTREAL
STREET (FORMERLY KNOWN AS
MONTGOMERY AVENUE) AND
TRANSFERRED TO CENTERLINE AS
SHOWN ON THE MAP TRACT 8557, M.B.
103-1/3 WAS USED FOR THE BASIS OF
BEARINGS.

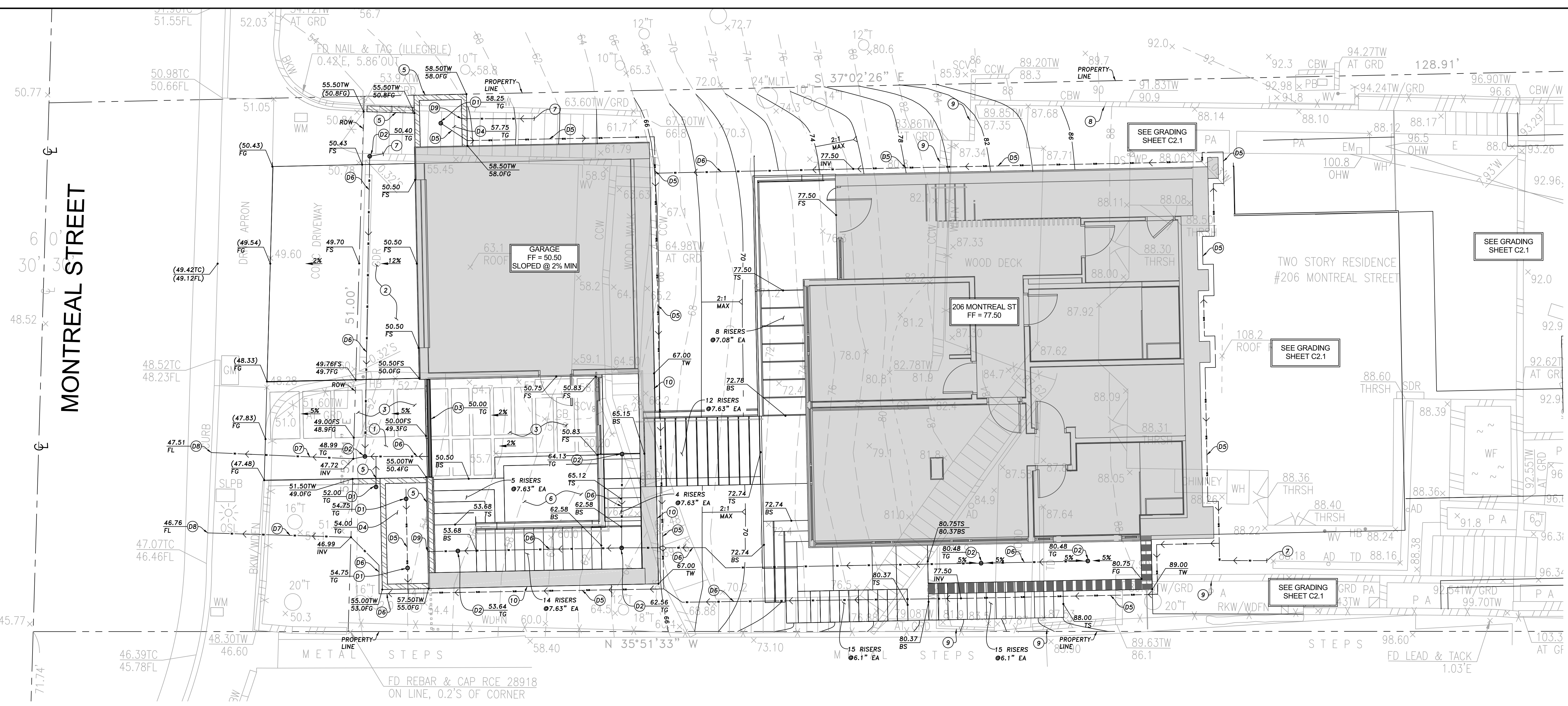
SHEET NAME:
PRECISE GRADING PLAN - GARAGE LEVEL
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Call: TOLL FREE
1-800-227-2600
TWO WORKING DAYS BEFORE YOU DIG

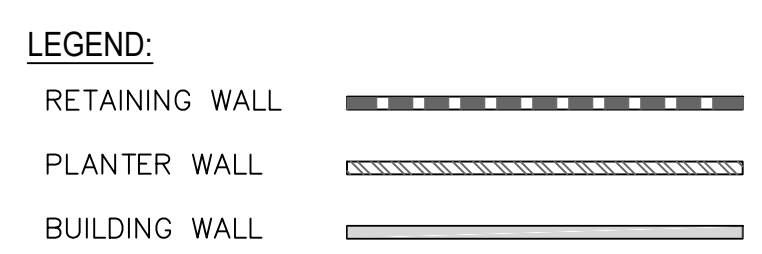


PROJ. ENG. / DRAWN: GG / GG
REVIEWED:
PROJECT No.: C-22C18
SHEET: **C2**

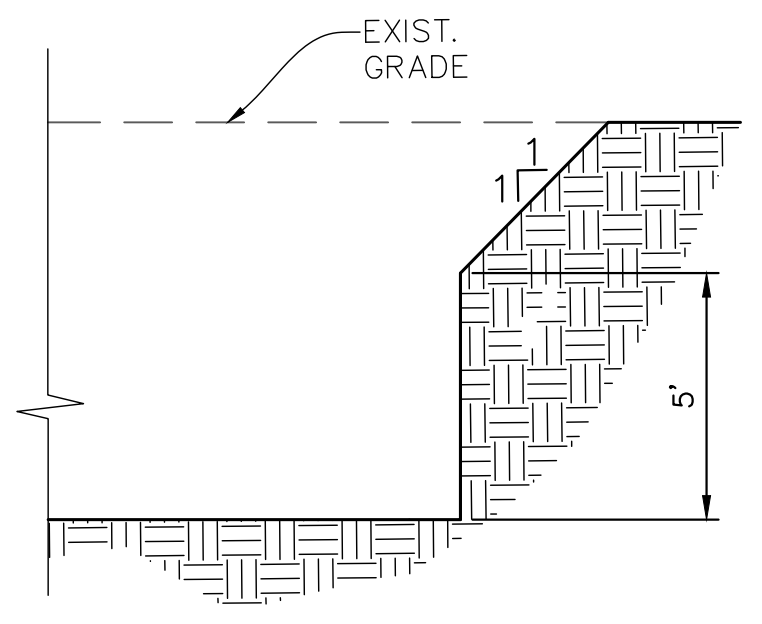


- NOTES:**
- REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON GRADING AND FOUNDATION EARTHWORK WHERE SITE EXCEEDS 60,000 SF. CUT OR FILL SLOPES EXCEED 2:1, CUTS EXCEED 40 FT IN HEIGHT AND WITHIN 20 FT OF A PROPERTY LINE. PROJECTS INVOLVE UNUSUAL HAZARDS, SHORING WORK INCLUDING SLOT CUTS.
 - SURVEY SHOWN WAS USED AS A BASIS FOR THIS PLAN AND DESIGN. CONTRACTOR SHOULD VERIFY ALL ELEVATIONS PROPOSED AND EXISTING PRIOR TO CONSTRUCTION AND NOTIFY THIS OFFICE OF ANY DISCREPANCIES.
 - RETAINING WALLS TO BE CONSTRUCTED PER SEPARATE PERMIT.
 - CONTRACTOR SHALL TO THE BEST OF THEIR ABILITIES SHALL INCLUDE THE MINIMUM REQUIREMENTS FOR CONSTRUCTION PROJECTS BY IMPLEMENTING THE BEST MANAGEMENT PRACTICES AS DETAILED IN THE BMP HANDBOOK AND ADOPTED BY THE CITY OF LOS ANGELES.
 - DIRECT ALL ROOF DRAINAGE VIA GRAVITY FLOW AND OUTLET THRU AN APPROVED DEVICE TO AN APPROVED LOCATION.
 - CONTRACTOR TO ALLOW FOR DEMOLITION AND REPLACEMENT OF EXISTING SIDEWALK, CURB AND GUTTER ALONG PROPERTY LINES IF DAMAGED AT MONTREAL STREET.
 - ALL DAMAGED OR OFF-GRADE CURB, GUTTER, SIDEWALK, DRIVEWAY APPROACH OR A.C. PAVEMENT SHALL BE REPAIRED OR REPLACED.
 - ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A PUBLIC WORKS PERMIT.
 - A REGISTERED DEPUTY GRADING INSPECTORS IS REQUIRED ON ALL SHORING WORK INCLUDING SLOT CUTS. (SEC 1701.5)
 - CONTRACTOR SHALL PROVIDE A COPY OF PERMIT FROM CALIFORNIA DIVISION OF INDUSTRIAL SAFETY FOR EXCAVATIONS OR TRENCHES OVER 5 FEET VERTICAL CUTS OR WORK THAT MAY JEOPARDIZE WORKERS.
 - DECORATIVE CONCRETE AND HARDSCAPE PER ARCHITECTURAL PLANS.
 - DIMENSIONAL CONTROL PLAN AND STRIPING PLAN PER ARCHITECTURAL PLANS.
 - A PRECONSTRUCTION CONFERENCE SHOULD BE HELD AT THE SITE PRIOR TO THE BEGINNING OF GRADING OPERATIONS WITH THE OWNER, CONTRACTOR, CIVIL ENGINEER AND GEOTECHNICAL ENGINEER IN ATTENDANCE. SPECIAL SOIL HANDLING REQUIREMENTS CAN BE DISCUSSED AT THAT TIME.
 - GRADING SHOULD COMMENCE WITH THE REMOVAL OF ALL EXISTING VEGETATION AND EXISTING IMPROVEMENTS FROM THE AREA TO BE GRADED. ALL EXISTING UNDERGROUND IMPROVEMENTS PLANNED FOR REMOVAL SHOULD BE COMPLETELY EXCAVATED AND THE RESULTING DEPRESSIONS PROPERLY BACKFILLED. DELETERIOUS DEBRIS SUCH AS WOOD AND ROOT STRUCTURES SHOULD BE EXPORTED FROM THE SITE SHOULD NOT BE MIXED WITH THE FILL SOILS. ASPHALT AND CONCRETE SHOULD NOT BE MIXED WITH THE FILL SOILS UNLESS APPROVED BY THE GEOTECHNICAL ENGINEER.
 - POTABLE WATER AND SEWER CONNECTIONS PER PLUMBING PLANS.
 - SEWER CONNECTION ON PUBLIC RIGHT-OF-WAY SHALL REQUIRE A SEPARATE PERMIT FROM ENGINEERING DIVISION.
 - UTILITY TRENCHES SHOULD BE PROPERLY BACKFILLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE GREEN BOOK (LATEST EDITION). THE PIPE SHOULD BE BEDDED WITH CLEAN SANDS (SAND EQUIVALENT GREATER THAN 30) TO A DEPTH OF AT LEAST ONE FOOT OVER THE PIPE. THE USE OF GRAVEL IS NOT ACCEPTABLE UNLESS USED IN CONJUNCTION WITH FILTER FABRIC. THE REMAINDER OF THE TRENCH BACKFILL MAY BE DERIVED FROM ONSITE SOIL OR APPROVED IMPORT SOIL, COMPACTED AS NECESSARY, UNTIL THE REQUIRED COMPACTION IS OBTAINED.
 - ALL TRENCH AND FOUNDATION EXCAVATION BOTTOMS MUST BE OBSERVED AND APPROVED BY THE GEOTECHNICAL ENGINEER (A REPRESENTATIVE OF FEFFER GEOLOGICAL CONSULTING), PRIOR TO PLACING BEDDING SANDS, FILL, STEEL, GRAVEL OR CONCRETE.

- CONSTRUCTION NOTES:**
- PROPOSED LANDSCAPE AREA PER ARCHITECTURAL PLAN.
 - PROPOSED CONCRETE SLAB ON GRADE.
 - PROPOSED PERMEABLE PAVER PER DETAIL ON SHEET C3.
 - PROPOSED RETAINING WALL PER SEPARATE PERMIT.
 - PROPOSED PLANTER WALL.
 - PROPOSED KOI POND.
 - SEE SHEET C3 FOR CONTINUATION.
 - EXISTING WALL, PROTECT-IN-PLACE.
 - EXISTING WALL TO REMOVE.
 - PROPOSED BUILDING WALL.



- STORM DRAIN CONSTRUCTION NOTES:**
- CONTRACTOR TO INSTALL 4" ATRIUM GRATE NDS PART NO. 75 OR APPROVED EQUIVALENT.
 - CONTRACTOR TO INSTALL 4" ROUND GRATE NDS PART NO. 11 OR APPROVED EQUIVALENT.
 - CONTRACTOR TO INSTALL 3" LINEAR DRAIN NDS PART NO. 764 OR APPROVED EQUIVALENT.
 - CONTRACTOR TO INSTALL LID PLANTER PER DETAIL ON SHEET C3.2.
 - CONTRACTOR TO INSTALL 4" PERFORATED PVC SUB-DRAIN PIPE.
 - CONTRACTOR TO INSTALL 4" PVC STORM DRAIN, SCHEDULE 40. @ 2% SLOPE MIN.
 - CONTRACTOR TO INSTALL 4" CAST IRON PIPE UNDER PUBLIC RIGHT OF WAY.
 - CONTRACTOR TO INSTALL 4" CURB DRAIN PER SPPWC STD. PLAN 150-3.
 - CONTRACTOR TO INSTALL INLET PIPE AT PLANTER WALL.



TEMPORARY EXCAVATION
FEFFER GEOLOGICAL CONSULTING
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NTS

NOT FOR CONSTRUCTION UNTIL SIGNED BY ENGINEER



PROJECT ADDRESS:
PLAYA DEL REY HOUSE
 206 MONTREAL ST.
 PLAYA DEL REY, CA 90293

SUBMITTALS	DATE
1ST	02 MAY 2023

REVISIONS	DATE
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PROJECT INFO:
 APN: 4116-013-018
 BENCHMARK:
 CITY OF LOS ANGELES BENCH MARK
 NO. 17-019190 CITY DISC *STMPD 26-M*
 IN 8IN MON15FT N OF N CURB LINE
 CULVER BLVD. 20FT W OF W CURB
 LINE CULVER PLACE.
 ELEVATION 10.843 (1985 ADJ. NAVD
 1929 DATUM)
 BASIS OF BEARING:
 A BEARING OF N 55°52'01" E FOR THE
 SOUTHERLY LINE OF MONTREAL
 STREET (FORMERLY KNOWN AS
 MONTGOMERY AVENUE) AND
 TRANSFERRED TO CENTERLINE AS
 SHOWN ON THE MAP TRACT 8557, M.B.
 103-1/3 WAS USED FOR THE BASIS OF
 BEARINGS.

SHEET NAME:
CROSS SECTIONS

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PROJ. ENG. / DRAWN:	SHEET:
GG / GG	C2.2
REVIEWED <input type="checkbox"/>	
PROJECT No.:	C-22C18

