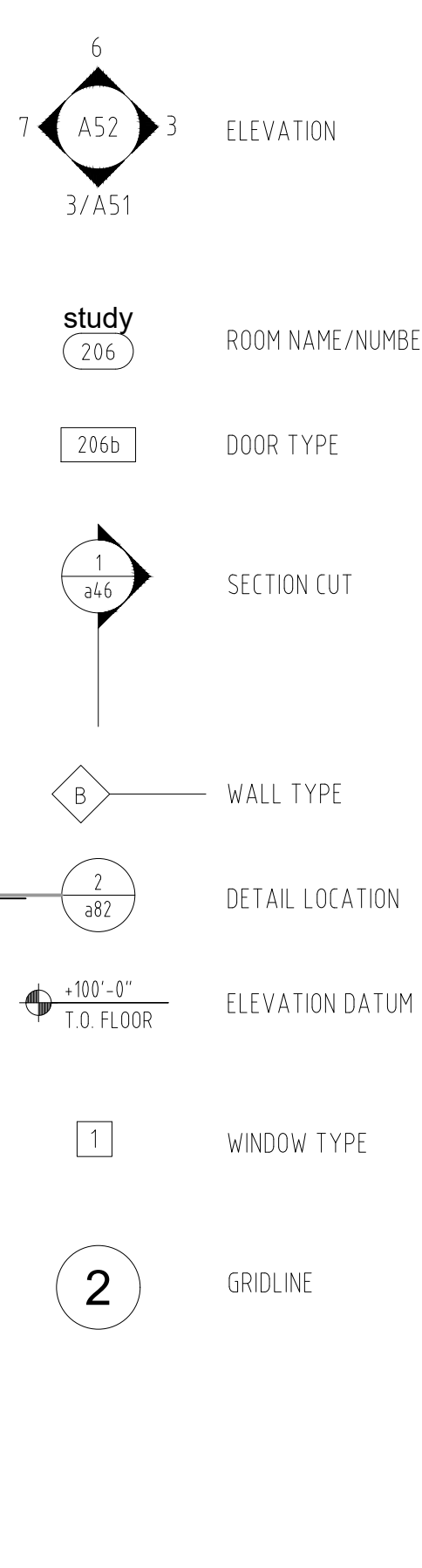


ABBREVIATIONS

CL. centerline	CRT. ceramic tile	F.O.S. face of studs	L.A.V. lavatory	PLYWD plywood	SUSP suspended
PL. plate	CPT. carpet, carpeted	FR. frame	L.F. lineal feet	PNL. panel	SYM. symmetrical
DIA. diameter	CNTR. center	FRPF. fireproof	LOC. location	PR. pair	
#. pound or number		FRPL. fireplace	L.P. low point	PRCST. pre-cast	
(E). existing		FT. foot	LT. light	PT. point	
(N). new		FURR. furring		PTN. partition	
	DBL. double	FUT. future	MAS. masonry	QT. quarry tile	
	DEMO. demolition	F.W. full width	MAX. maximum	R. riser	
ABV. above	DET. detail		GA. gauge	R.A. return air	
ACC. access	D.F. douglas fir		GALV. galvanized	MDO. medium density overlay	
ACOUS. acoustical	DIA. diameter		G.C. general contractor	MECH. mechanical	
A.D. area drain	DN. down		GL. glass	MEMB. membrane	
ADJ. adjustable	D.O. door opening		GLAM. glue-laminated	MET. metal	
A.F.F. above finish floor	DR. door		GR. grade	MFR. manufacturer	
A.I.B. air infiltration	D.S. downspout		DWG. drawing	MIN. minimum	
ALT. barrier	D.W. dishwasher			MIR. mirror	
ALUM. alternate	DWG. drawing			MISC. miscellaneous	
APPROX. aluminum				MTD. mounted	
ARCH. approximate				MTL. material	
	E. east	H.B. hose bibb		MUL. mullion	
	EA. each	H.C. hollow core			
	EL. elevation	H.D.O. high density overlay			
BD. board	EQ. electrical	HDR. header			
BLCKG. blocking	ELEV. elevator	HRWD. hardwood			
BM. beam	ENCL. enclosure	HDWE. hardware			
B.O. bolt/om of	EQ. equal	HM. hollow metal			
BOT. bottom	EQUIP. equipment	HORIZ. horizontal			
B.O.F. bottom of footing	EST. estimate	H.P. high point			
	EXIST. existing	HR. hour			
CAB. cabinet	EXP. expanded expansion	HT. height			
C.B. catch basin	EXPO. exposed	HVAC. heating/ventilating/air conditioning			
C/C. center to center	EXT. exterior				
CER. cement					
C.I.P. ceramic	F.D. floor drain				
C.J. cast-in-place	F.E. fire extinguisher	I.D. inside diameter			
CLG. control joint	F/F. finish to finish	IN. inch			
CLKG. ceiling	F.I.P. finish in place	INSUL. insulation			
CLOS. caulking	FIN. finish	INT. interior			
CLR. closet	FLASH. flash flashing				
CMU. clear	FLR. floor flooring	J.B. junction box			
CNTR. concrete masonry	FLOUR. fluorescent	J.F. joint filler			
CONC. counter	F.O.C. face of concrete	JT. joint			
COL. concrete	F.O.F. face of finish	KIT. kitchen			
CONT. column	F.O.I.C. furnished by owner	LAM. laminate, laminated			
CORR. connection	F.O.M. face of masonry				
CT. continuous					

DRAWING KEY



PROJECT DESCRIPTION

NEW SINGLE FAMILY RESIDENCE	
ADDRESS:	237 E MONTREAL STREET, PLAYA DEL REY, CA 90293
PARCEL #	4116012004
LEGAL DESCRIPTION	TR 8557 B17 L37
WORK DESCRIPTION	NEW SINGLE FAMILY RESIDENCE
OCCUPANCY	R3
ZONING	R1
CONSTRUCTION TYPE	TYPE VB (SPRINKLERED)
ALLOWABLE RFAR	1,840 X 3 = 5520 SF
PROJECT SF	
INTERIOR	418
GARAGE	589
MAIN BEDROOM	325
M BEDROOM	589
STUDIO	529
STUDIO LOFT	241
ACTUAL RFAR	
TOTAL SF	3034 SF < 5520 SF ALLOWED
DECKS STAIRS	
ROOF DECK	500
MAIN FLOOR	447
BEDROOM	338
STUDIO	72
	1375

CONTACT

SITE	237 E MONTREAL STREET, PLAYA DEL REY, CA 90293
OWNER ADDRESS	JUSTIN BREVOORT 336 THE STRAND HERMOSA BEACH, CA 90254 310 376 2537
PHONE	CREATIVELABZ@ME.COM
EMAIL	
DESIGN ARCHITECT CONTACT ADDRESS	ZEROPLUS JOSHUA BREVOORT / LISA CHUN 1000 S. WELLER #0 SEATTLE, WA 98104
PHONE	206 323 4009
EMAIL	MAIL@0-PLUS.COM
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PHONE	310 452 6500
EMAIL	BRIAN@BRIANNOWARE.COM
CONTRACTOR CONTACT ADDRESS	SURFSIDE CONSTRUCTION MIKE CLELAND
PHONE	3108904.980
EMAIL	MJC@SURFSIDEPROPERTIESINC.COM
GEOTECHNICAL ENGINEER CONTACT ADDRESS	RMA GEOSCIENCE, INC. 9854 GLENOAKS BOULEVARD SUN VALLEY, CA 91352-1044 800.RMA.4.396
PHONE	
EMAIL	MSWIATEK@RMAGEOSCIENCE.COM
LANDUSE CONSULTANT CONTACT ADDRESS	SROUR & ASSOCIATES BRANDON STRAUS 2447 PACIFIC COAST HIGHWAY SUITE 200 HERMOSA BEACH, CA 90254 310 372 8433 BRANDON@ESROUR.COM
PHONE	
EMAIL	

SHEET LIST

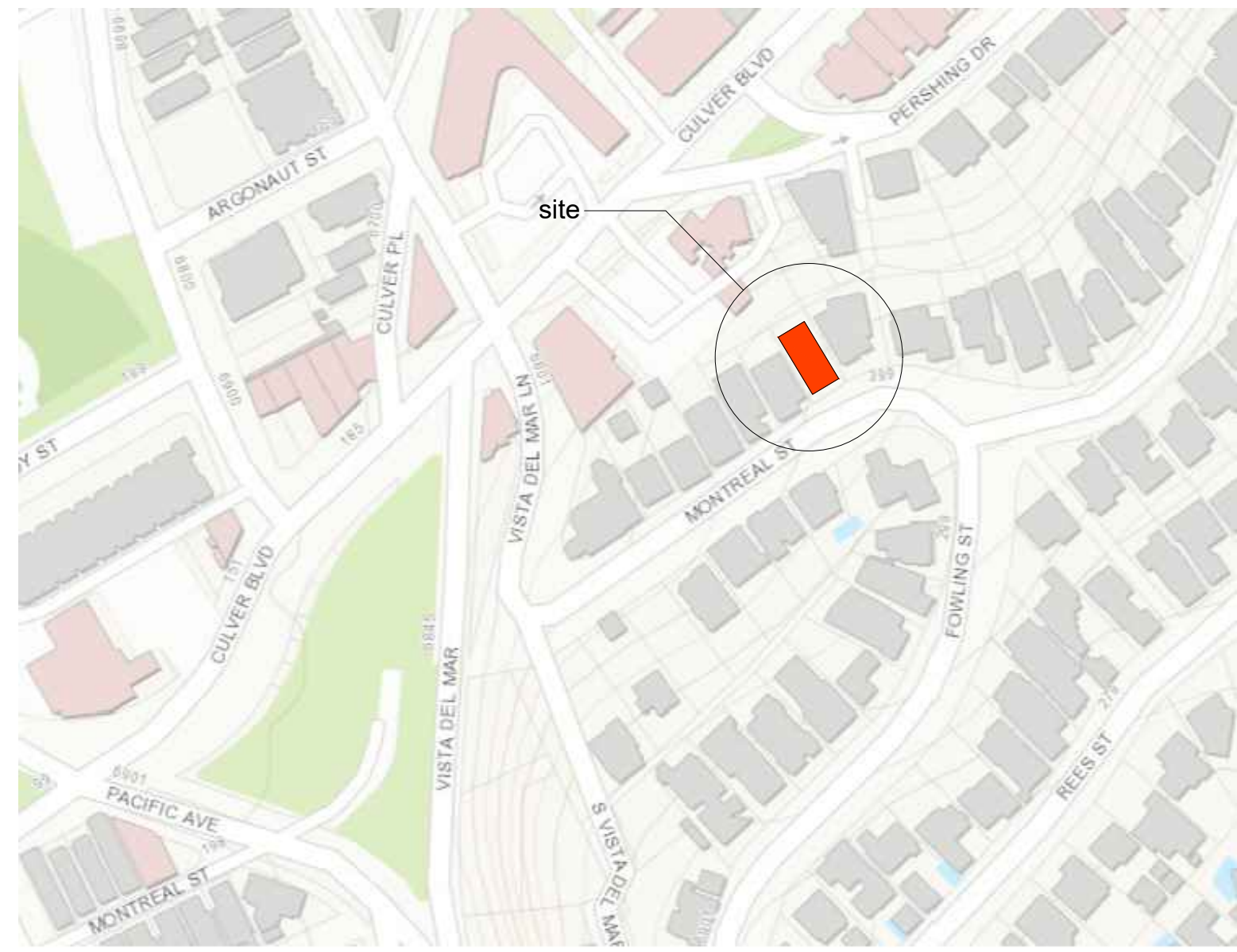
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survey	
zoning code review	a10
grading plan	
studio plan	a21
studio loft plan	a22
bedroom plan	a23
main floor plan	a24
roof plan	a25
west elevation	a31
east elevation	a32
north south elevation	a33
ew section courtyard elevations	a34
ns section	a35



1 view from street nts



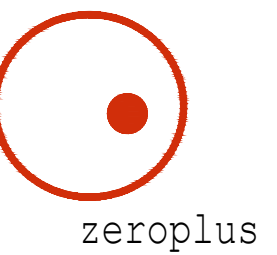
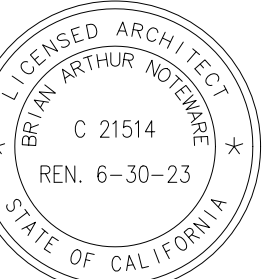
2 view from north nts



3 vicinity plan nts

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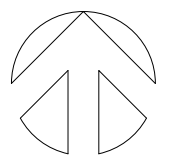


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SURVEY AND TOPOGRAPHY

FOR
JUSTIN BREVOORT
336 THE STRAND, UNIT A
HERMOSA BEACH, CA 90254
PHONE 310-529-9944

JOB ADDRESS

237 MONTREAL STREET
LOS ANGELES, CA 90293

LEGAL DESCRIPTION

LOT 37, BLOCK 17
TRACT NO. 8557
M.B. 103-1-3
APN 4116-012-004

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF PROFESSIONAL LAND SURVEYORS' ACT



GARY J. ROEHL R.C.E. 30826

DRAWN BY: KW CHECK BY: XX

DRAWN ON: JANUARY 31, 2022

REVISIONS

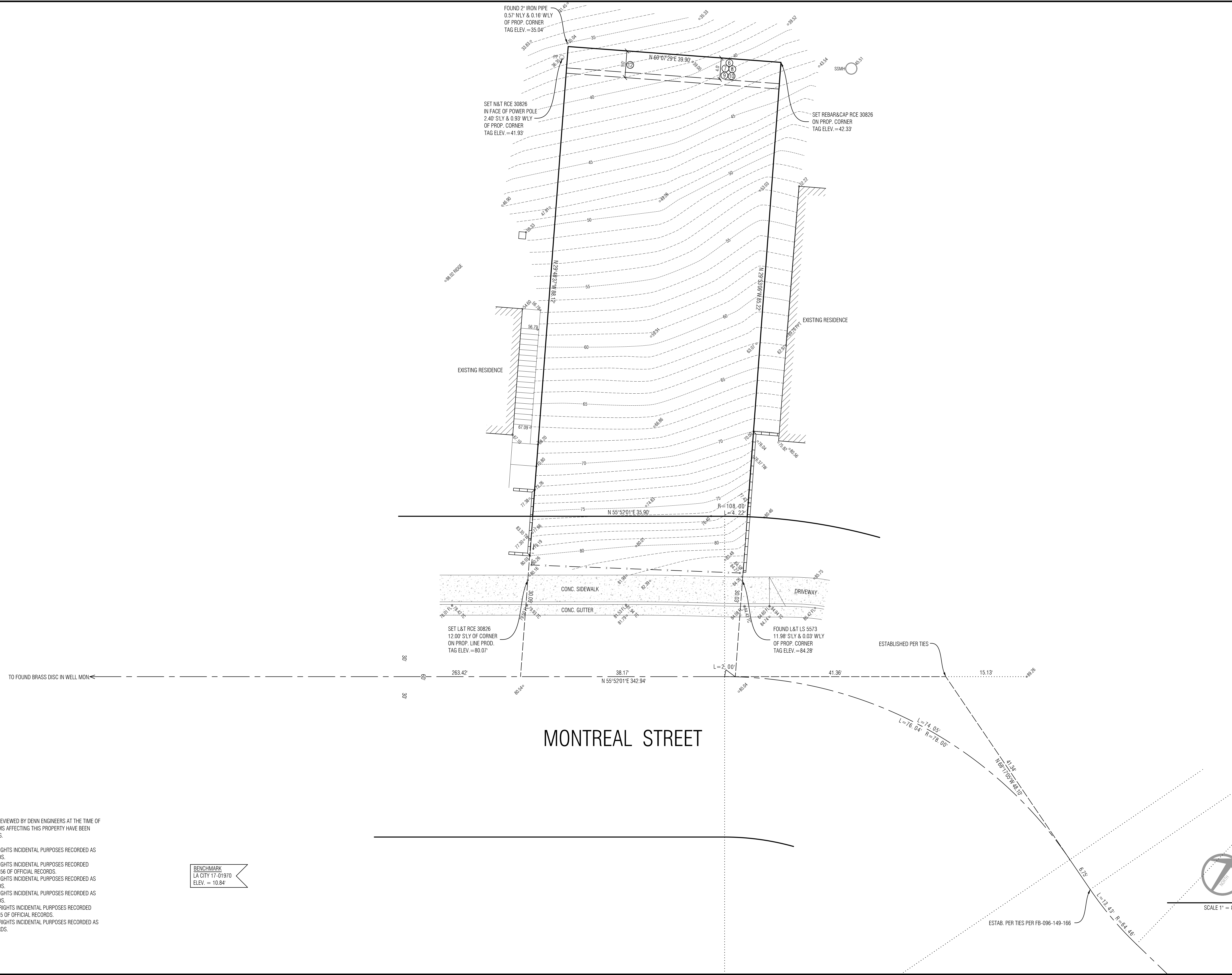
LEGEND

	EXISTING BUILDING		BRICK
	CONCRETE		WOOD DECK
	+106.76 EXISTING ELEVATION		EXISTING CONTOUR
	BLOCK WALL		EXISTING FENCE
BCR	BEGINNING OF CURB RETURN		
CATV	CABLE TV PULL BOX		
CONC.	CONCRETE		
CHIMNY	CHIMNEY		
CEFB	CITY ENGINEERS FIELD BOOK		
CA	CENTERLINE		
C.L. / W.L.F.	CHAIN LINE FENCE / WROUGHT IRON FENCE		
ELY	EASTERLY		
EG	EDGE OF GUTTER		
EM	ELECTRIC METER		
FF	FINISH FLOOR		
PH	FIRE HYDRANT		
FL	FLOW LINE		
GFF	GARAGE FINISH FLOOR		
GM	GAS METER		
GLY / GW	GLY WIRE		
I.P.	IRON PIPE MONUMENT		
L&T	LEAD AND TACK TAG MONUMENT		
MH	MANHOLE (SANITARY SEWER / STORM DRAIN)		
NLY	NORTHERLY		
N&T	NAIL AND TAG MONUMENT		
PB	PULL BOX (EDISON / TRAFFIC / STREET LIGHT)		
PB (CONT)	TELEPHONE / CABLE TV		
PC	PROPERTY CORNER / PROSP. CORNER		
PL	PROPERTY LINE / PROP. LINE		
PP / UP	POWER POLE / UTILITY POLE		
PRM	PARADET		
PWFB	PUBLIC WORKS FIELD BOOK		
R.R.	RAIL ROAD		
R&B	ROAD DEPARTMENT FIELD BOOK		
R.S.	RECORD OF SURVEY		
SPK / S&W	SPIKE / SPIKE AND WASHER MONUMENT		
S&S	SANITARY SEWER CLEANOUT		
STK / STK&T	STAKE / STAKE AND TAG MONUMENT		
STL / LT	STREET LIGHT POLE / LIGHT POLE		
TC	TOP OF CURB		
TX / BK	TOP OF APRON / BOTTOM OF APRON		
WLY	WESTERLY		
WM	WATER METER		

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDING UNLESS OTHERWISE NOTED. BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THIS SURVEY PLAN FOR OFFSET DIMENSIONS. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION BY PHONE AT: (310) 542-9433, M-F 8:00 AM TO 5:00 PM.

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ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT OF DENN ENGINEERS SHALL RELIEVE DENN ENGINEERS FROM ANY LIABILITY OR DAMAGE RESULTING FROM SUCH CHANGES OR MODIFICATIONS, INCLUDING ANY ATTORNEY'S FEES OR COSTS INCURRED IN ANY PROCEEDING THAT DENN ENGINEERS MAY BE JOINED.

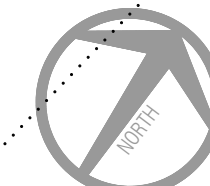


NOTE:
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE TIME OF THIS SURVEY. ANY READILY AVAILABLE ITEMS AFFECTING THIS PROPERTY HAVE BEEN PLOTTED BASED ON PROVIDED DOCUMENTS.

- ⑥ ITEM #6 - EASEMENT FOR UTILITIES AND RIGHTS INCIDENTAL PURPOSES RECORDED AS BOOK 19641, PAGE 67 OF OFFICIAL RECORDS.
- ⑦ ITEM #7 - EASEMENT FOR UTILITIES AND RIGHTS INCIDENTAL PURPOSES RECORDED FEBRUARY 15, 1950 AS BOOK 3478, PAGE 256 OF OFFICIAL RECORDS.
- ⑧ ITEM #8 - EASEMENT FOR UTILITIES AND RIGHTS INCIDENTAL PURPOSES RECORDED AS BOOK 7028, PAGE 175 OF OFFICIAL RECORDS.
- ⑨ ITEM #9 - EASEMENT FOR UTILITIES AND RIGHTS INCIDENTAL PURPOSES RECORDED AS BOOK 7124, PAGE 248 OF OFFICIAL RECORDS.
- ⑩ ITEM #10 - EASEMENT FOR UTILITIES AND RIGHTS INCIDENTAL PURPOSES RECORDED FEBRUARY 15, 1950 AS BOOK 3521, PAGE 65 OF OFFICIAL RECORDS.
- ⑪ ITEM #12 - EASEMENT FOR UTILITIES AND RIGHTS INCIDENTAL PURPOSES RECORDED AS BOOK 31992, PAGE 320 OF OFFICIAL RECORDS.

BENCHMARK
LA CITY 17-01970
ELEV. = 10.84'

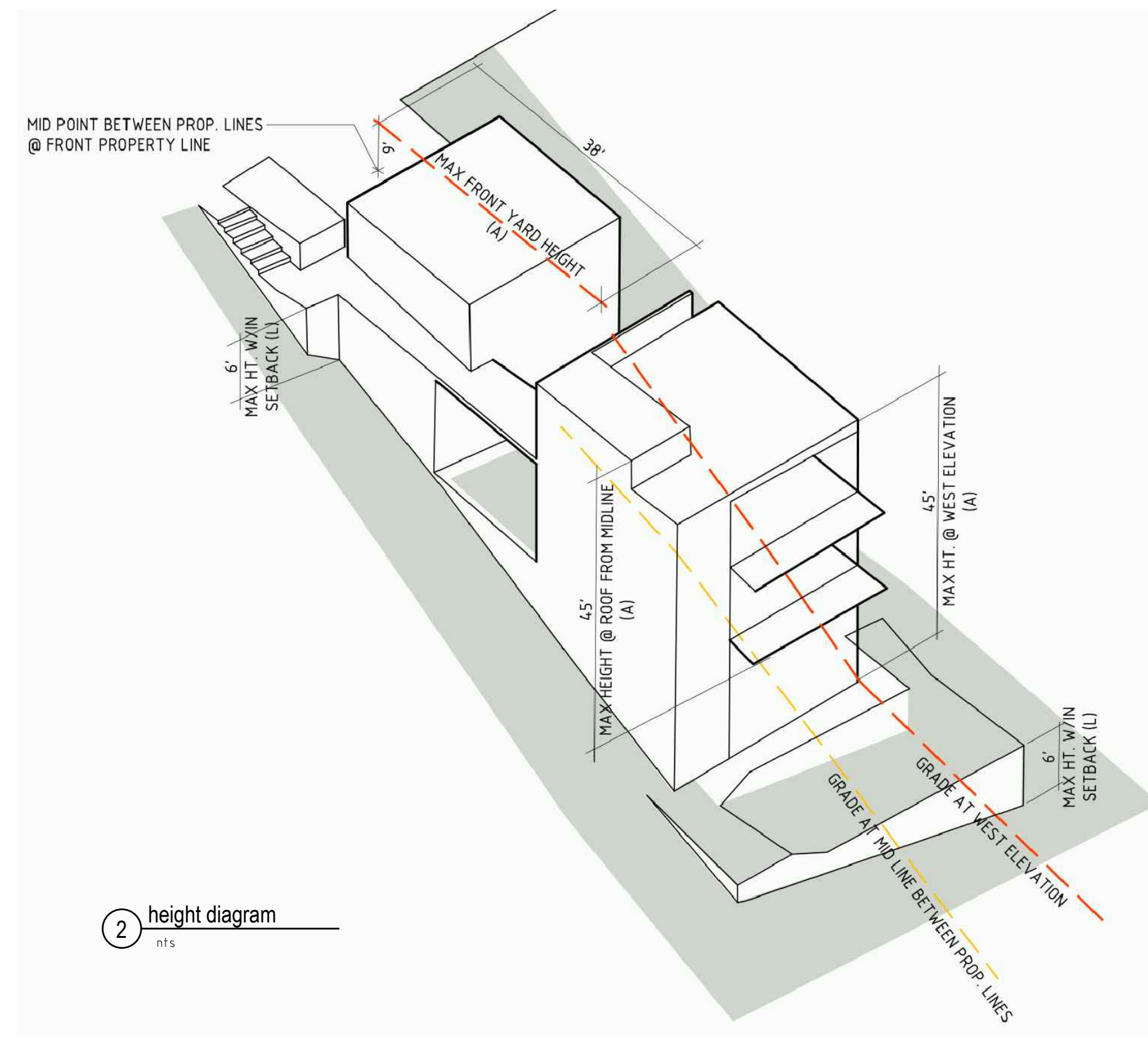
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ORDER NO. 112126547-MD
DATED NOVEMBER 16, 2021



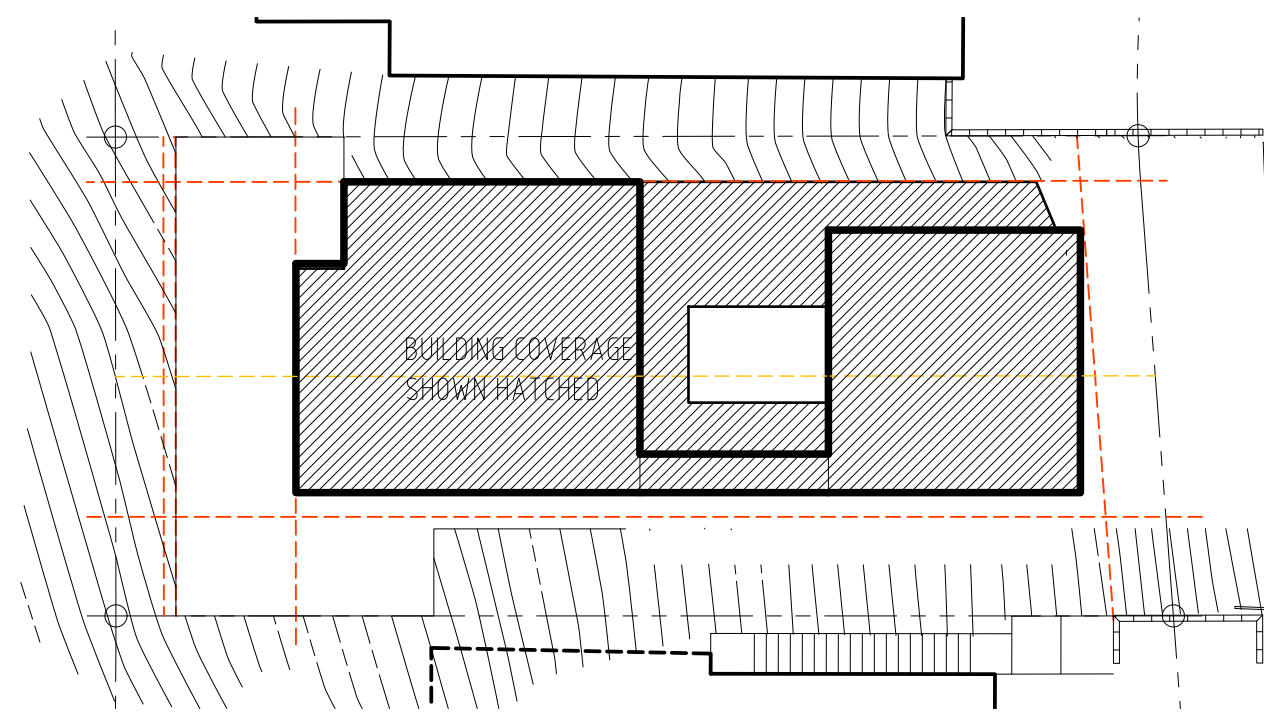
SCALE 1" = 8'



1 site plan
nts

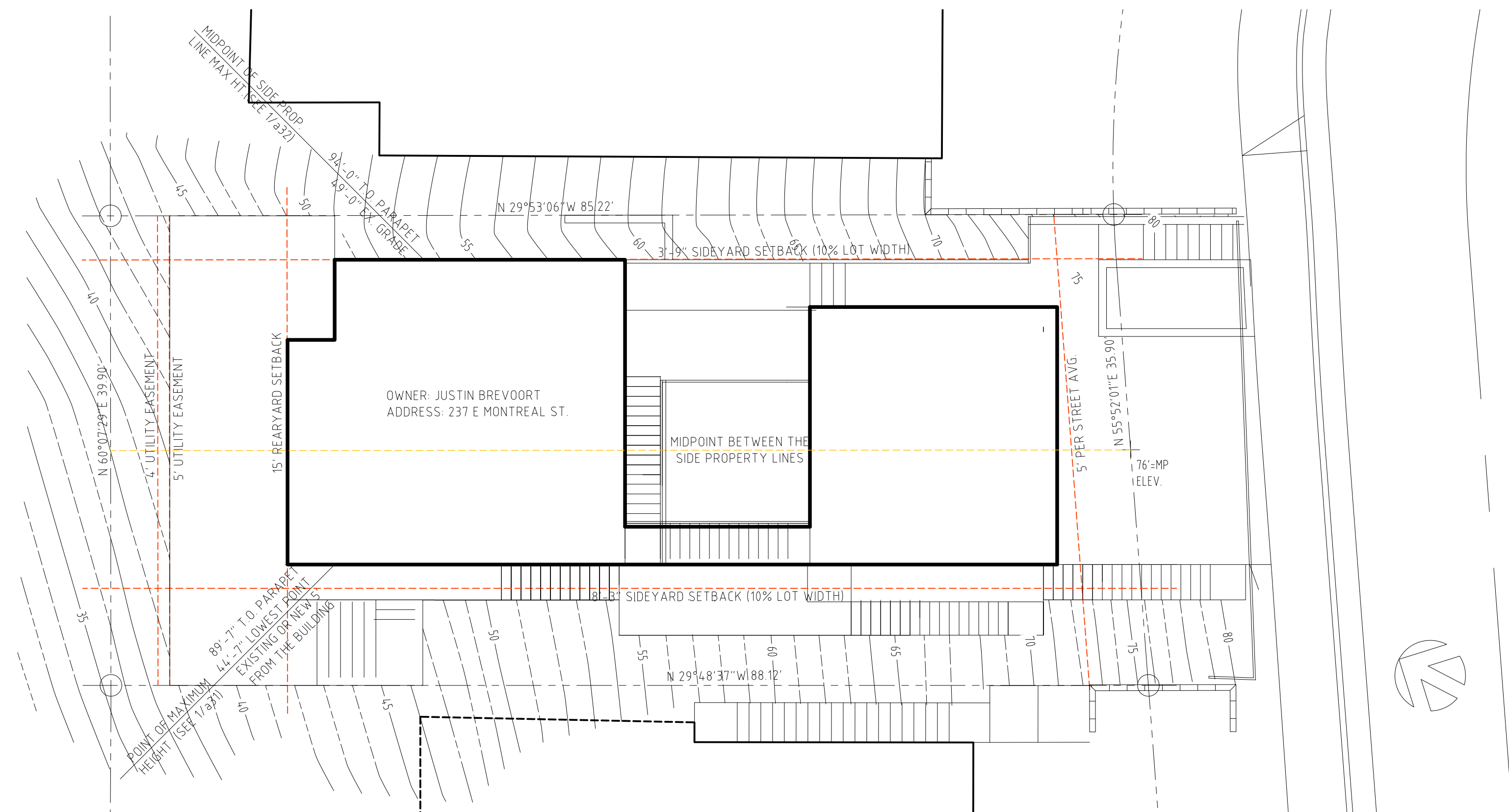


2 height diagram
nts



3 lot coverage
1/16" = 1'-0"

LOT COVERAGE	
TOTAL LOT AREA	3,461 SF
MAX LOT COVERAGE @45%	1,558 SF
ACTUAL LOT COVERAGE	1,551 SF



4 site plan

CODE REVIEW

237 E. MONTREAL STREET, PLAYA DEL REY, CA 90293

ASSESSOR PARCEL NUMBER
LEGAL DESCRIPTION
ZONING
CODES
LOS ANGELES MUNICIPAL CODE ABV (LAMC),
COASTAL BLUFF SPECIFIC PLAN, SUBAREA 3 ABV. (CB)

4116012004
TR 8557 B17 L37
R1-1

A	HEIGHT	CB 5 A 3 A-E
B	FRONT YARD	LAMC 12.08 C 1
C	SIDE YARD	CB 5 3 A-C LAMC 12.08 C 2 C
D	REAR YARD	LAMC 12.08 C 3
E	LOT COVERAGE	CB 5 D 2
F	GEOTECHNICAL	CB 7 C
G	RFAR	LAMC 12.21 A 1 (COASTAL AREA) LAMC 12.03
H	PARKING	LAMC 6105.2 ZA-2-5-5630 LAMC 6105.3 LAMC 12.21 A 5 F
I	DRIVEWAY	LAMC 12.21 A 5 G
J	POOLS AND SPAS	CB 7 B
K	EQUIPMENT IN SIDYARD	LAMC 22.110.040 -
L	FENCES AND WALLS	LAMC 22.110.070 B-2

SEE SECTION DIAGRAM
AVERAGE OF ADJACENT LOTS PER CB SA3 5' MIN (SEE ATTACHED SITEPLANS)
225 E MONTREAL 3'-1"
217 E MONTREAL 5'
209 E MONTREAL -5'
AVERAGE = 5' MIN

NOT LESS THAN 12' 6" EACH, 10% OF LOT WIDTH = 3'-9"
SIDYARD REQUIREMENT OF LAMC NOT APPLICABLE
15'
NO PROJECT EXTENDING 6' ABOVE GRADE CAN COVER MORE THAN 45% (SUBSTANDARD LOT)
@ 45% OF 3461.3 SF (LOT AREA) = 1555.29 SF

SOILS REPORT REQUIRED FOR 10+ YARDS OF EXPORT (NOT INCLUDING CAISSONS)
@3X X 1840.21 SF = 5,520SF
SEE DEFINITION OF "RESIDENTIAL FLOOR AREA"

18' WIDE DRIVEWAY APPROACH APRON
20' DRIVEWAY WIDTH
CURBSIDE NEED TO CONFIRM +/- 40' LOT WIDTH
9' MIN. DRIVEWAY WIDTH (SHALL NOT EXCEED 25 PERCENT OF THE LOT WIDTH)
10% DRIVEWAY CROSS SLOPE
20% MAX

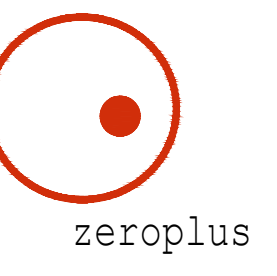
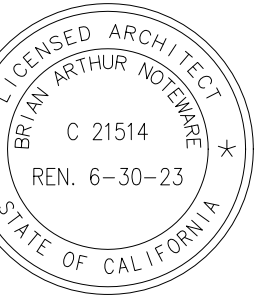
EXCEPTION: POOL SHALL BE NON-CHLORINATED

MAX 6' HEIGHT AND 2-1/2' FROM PROPLINE

MAX 6' 42" PROTECTION MAY BE ADDED TO TOP OF WALL

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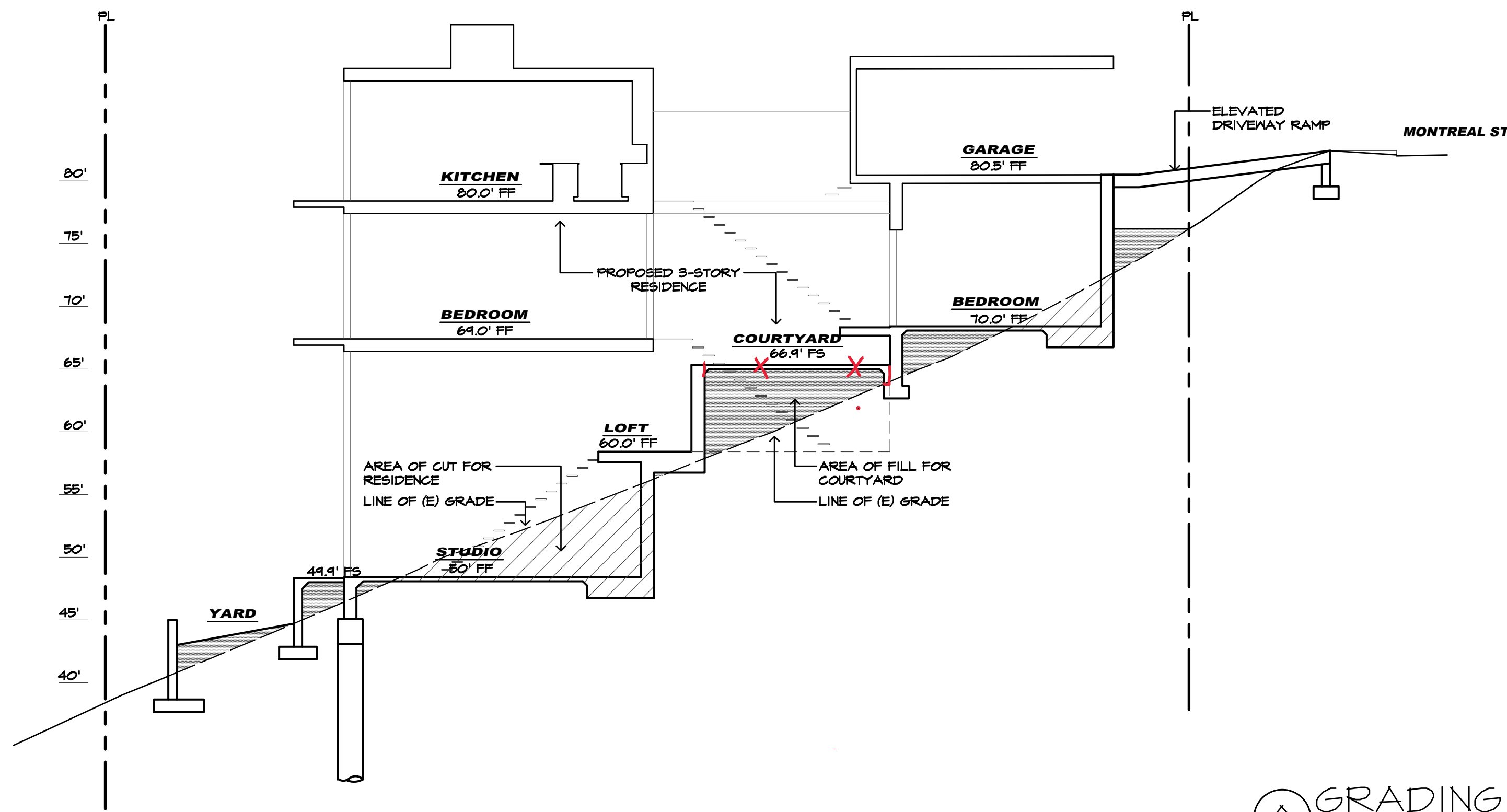


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GRADING SECTION
1/8" = 1'-0"

- GENERAL GRADING NOTES:**
1. ALL GRADING SLOPES SHALL BE PLANTED AND SPRINKLERED. Sec.91.1012.1-
 2. STANDARD 12 INCH HIGH BERM IS REQUIRED AT TOP OF ALL GRADED SLOPES. Sec.91.1019.3-
 3. NO FILL TO BE PLACED, UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.-
 4. MAN-MADE FILL SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90%. COHESIONLESS SOILS WITH LESS THAN 15% FINER THAN .005 mm REQUIRE 95% COMPACTION. Sec.91.1015.-
 5. TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 15. OBTAIN GRADING INSPECTOR'S AND DEPARTMENT OF PUBLIC WORKS APPROVAL OF PROPOSED PROCEDURES. (2000 CY) Sec.91.1007.1-
 6. RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.

GRADING LEGEND:

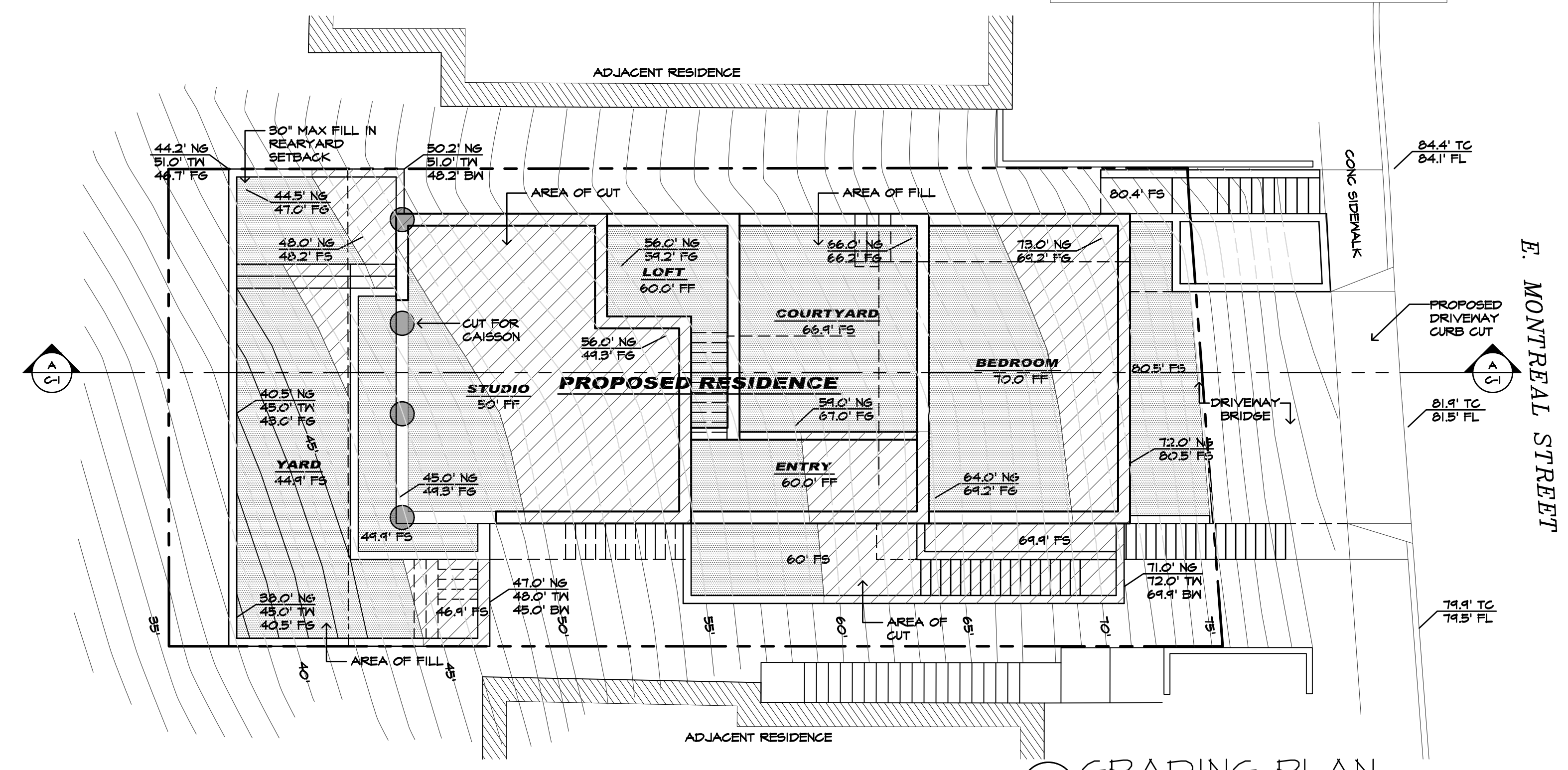
AREA OF CUT

AREA OF FILL

AREA OF CUT FOR CAISSON

GRADING QUANTITIES:

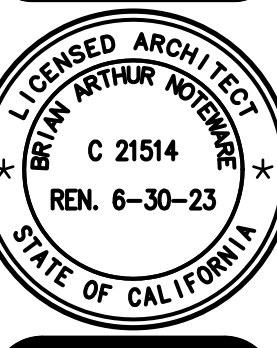
NON-EXEMPT GRADING:	
CUT (BUILDING FOOTPRINT)	70 CY
CUT (PATIO AREAS)	20 CY
FILL (PATIO AREAS)	94 CY
TOTAL (IMPORT)	4 CY
EXEMPT GRADING:	
CUT (CAISSONS)	12 CY
FILL (FROM BUILDING FOOTPRINT)	33 CY
TOTAL (IMPORT)	21 CY
TOTAL NON-EXEMPT GRADING	184 CY
TOTAL EXEMPT GRADING	45 CY
TOTAL IMPORT	25 CY
LOT AREA	3,456 SF

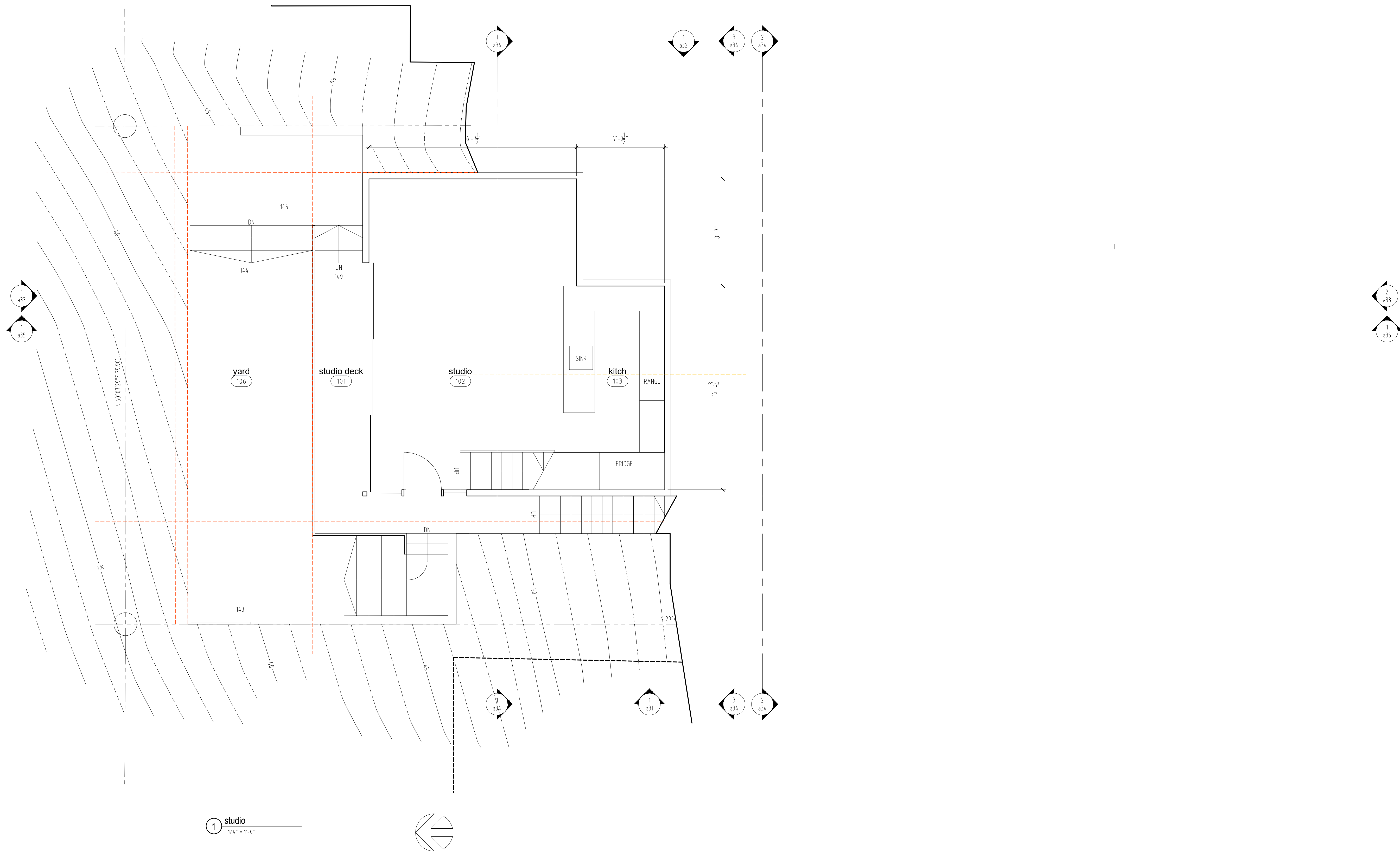


GRADING PLAN
1/8" = 1'-0"

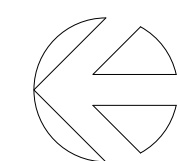
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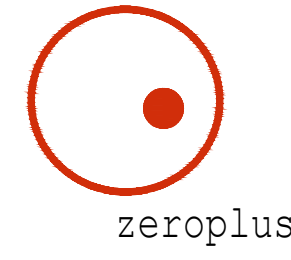
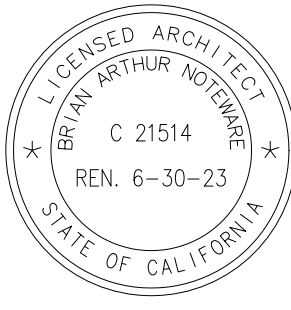




1 studio
1/4" = 1'-0"



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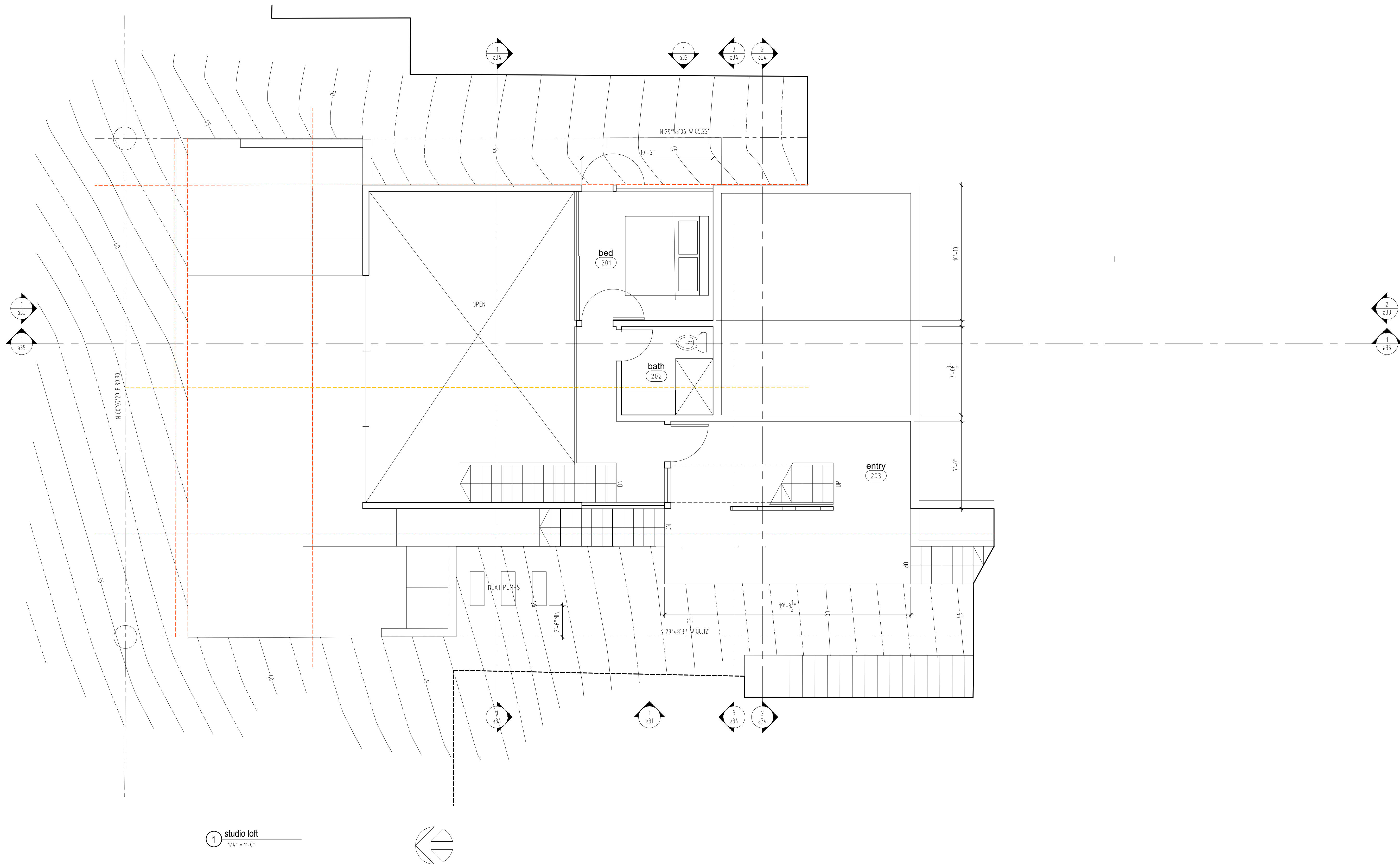


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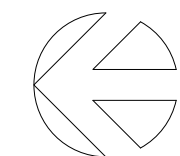
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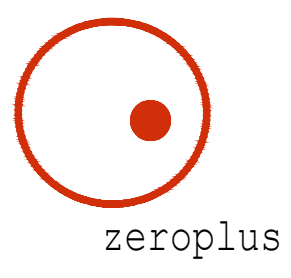
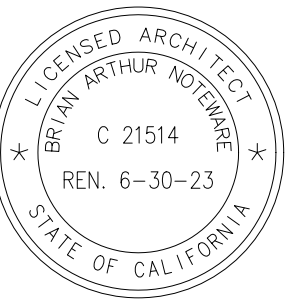
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1 studio loft
1/4" = 1'-0"



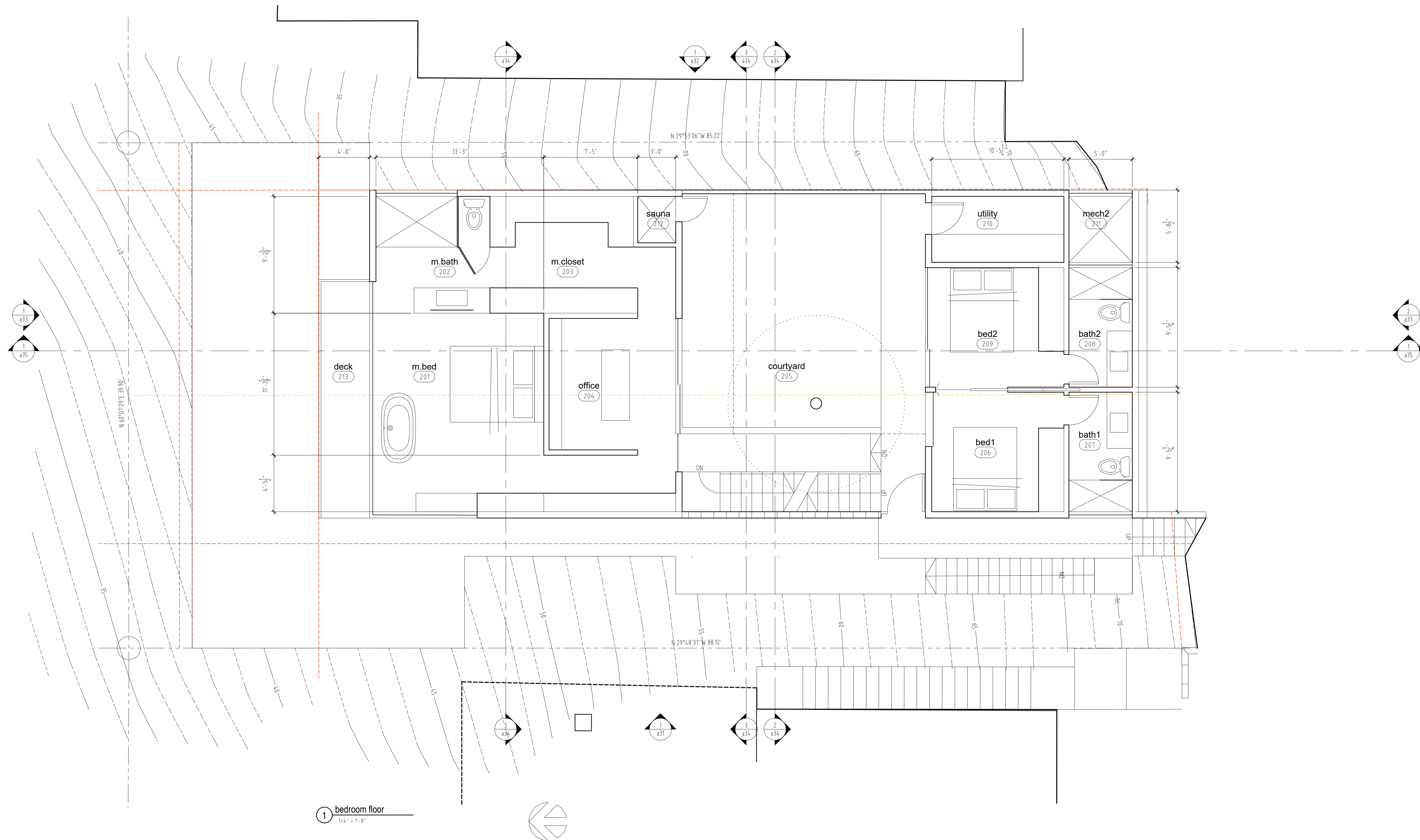
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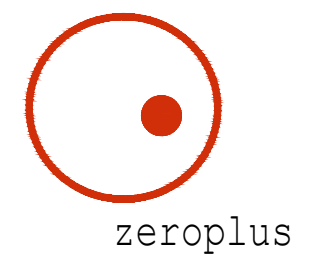
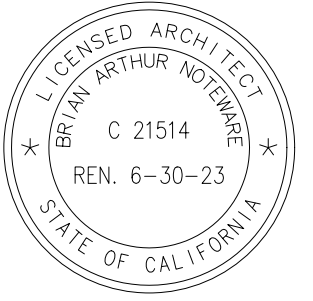
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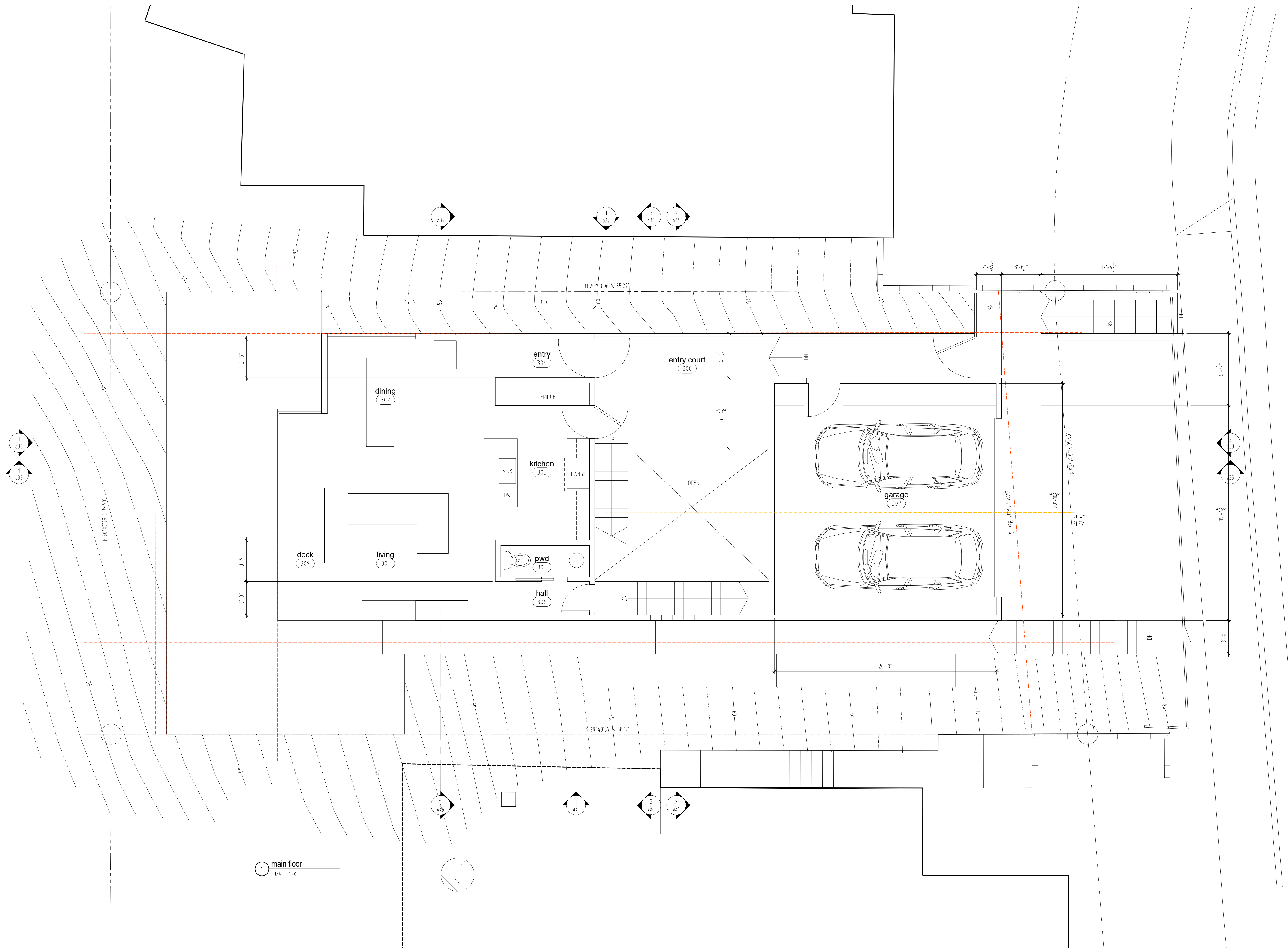


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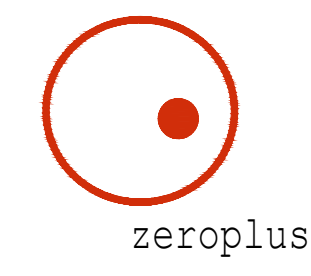
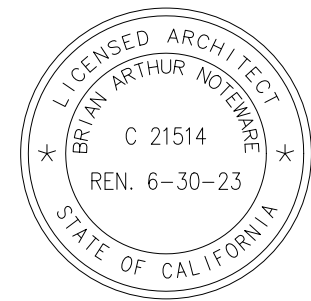
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1 main floor
1/4" = 1'-0"

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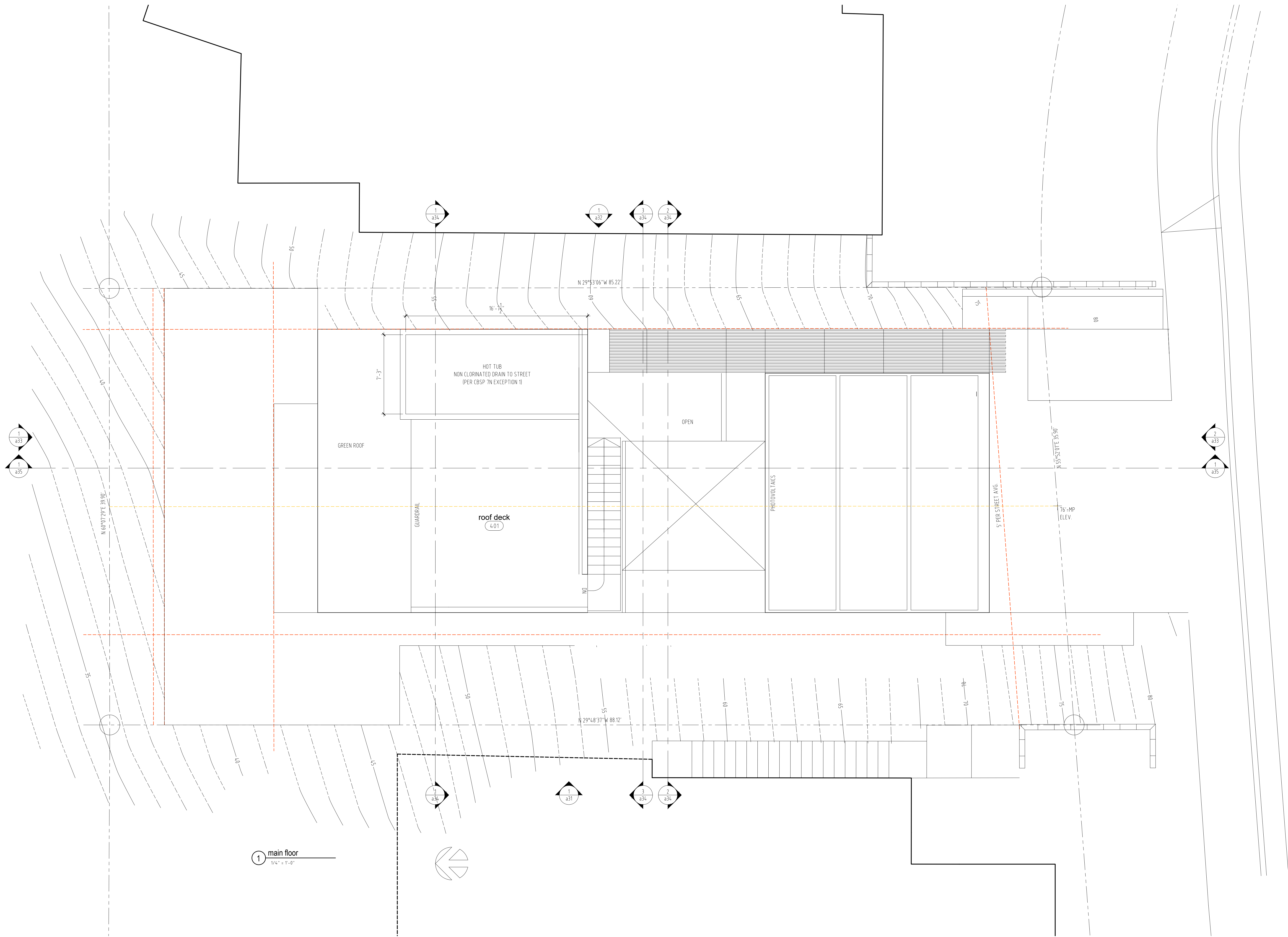


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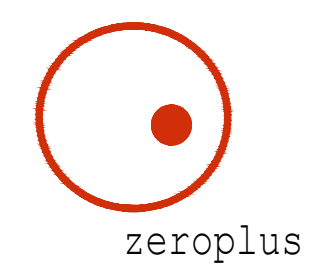
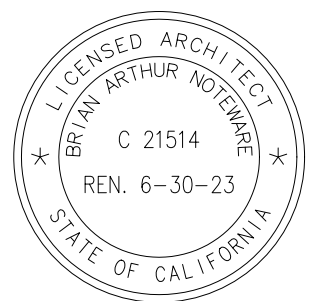
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a24



1 main floor
1/4" = 1'-0"

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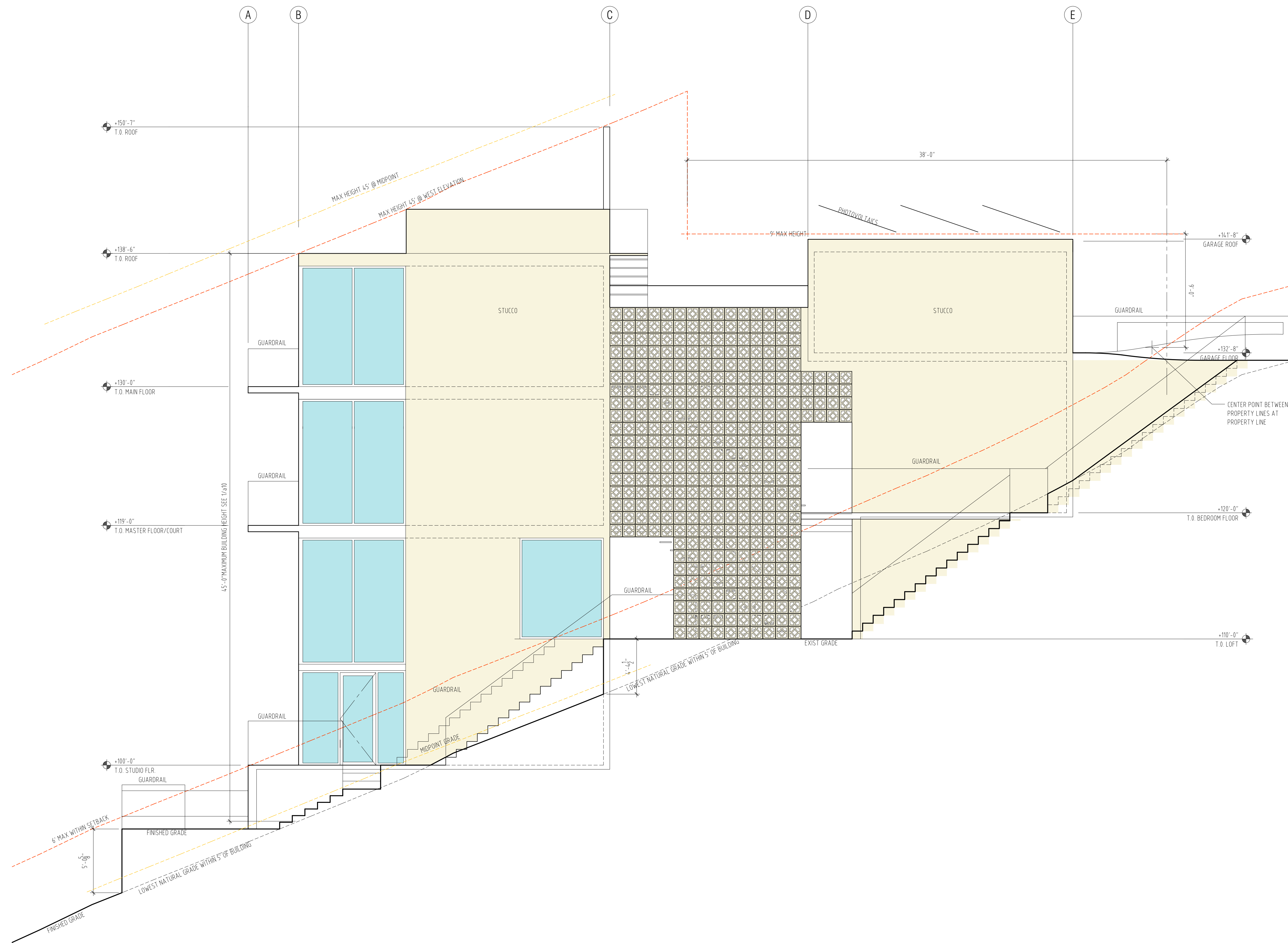


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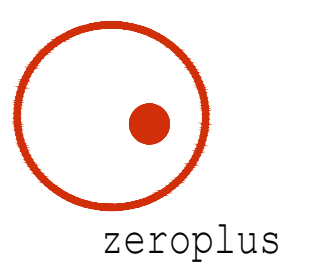
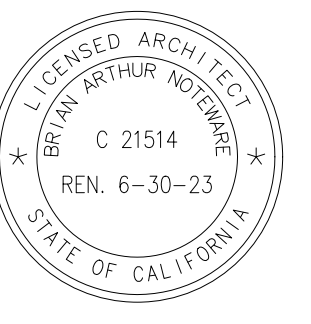
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a25



1 west elevation
1/4" = 1'-0"

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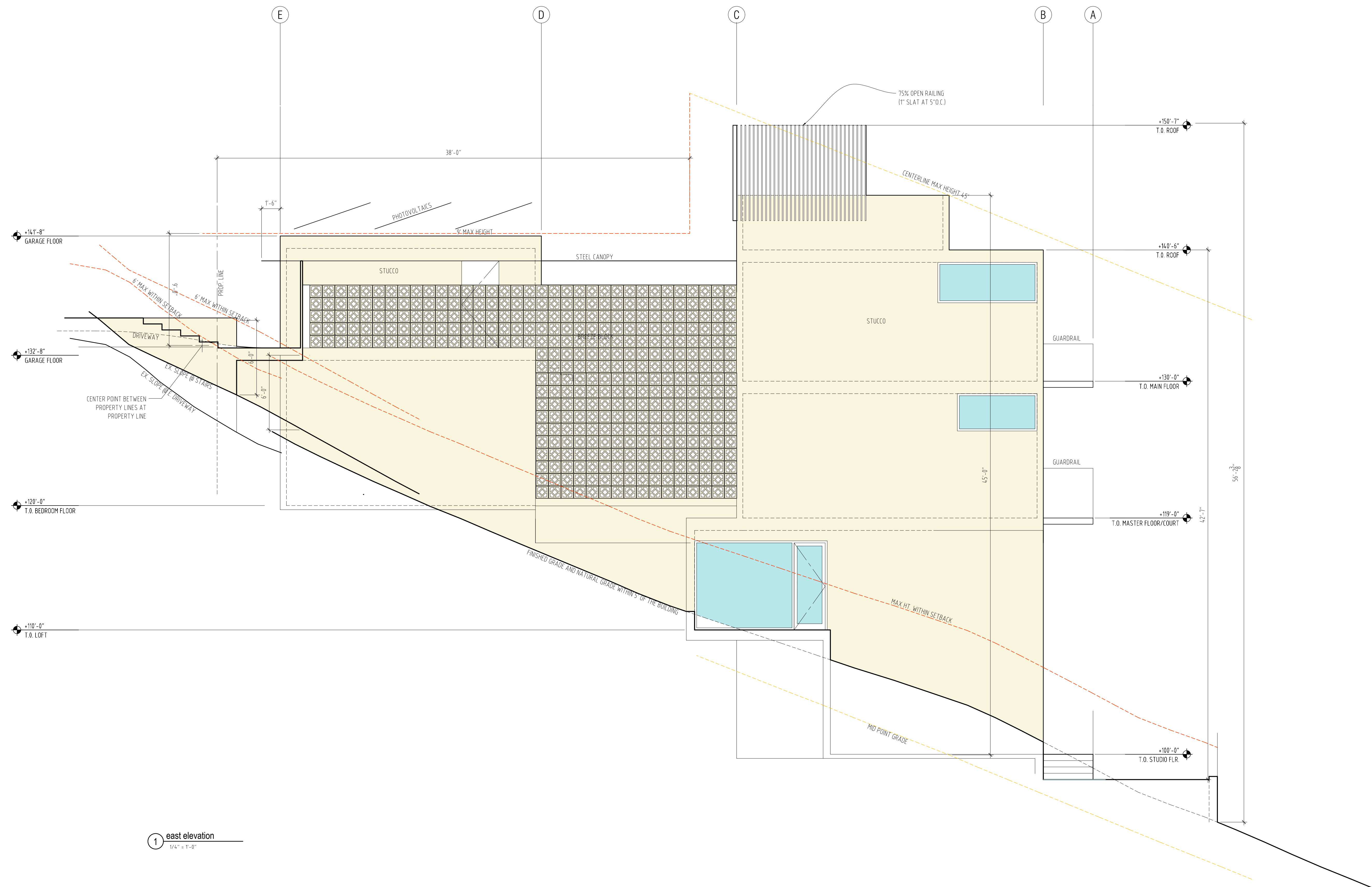


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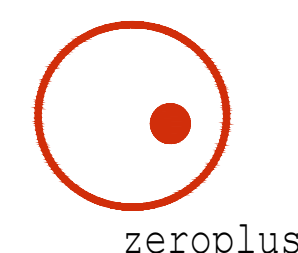
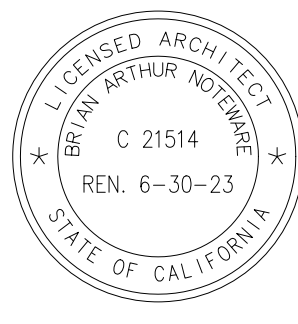
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1 east elevation
1/4" = 1'-0"

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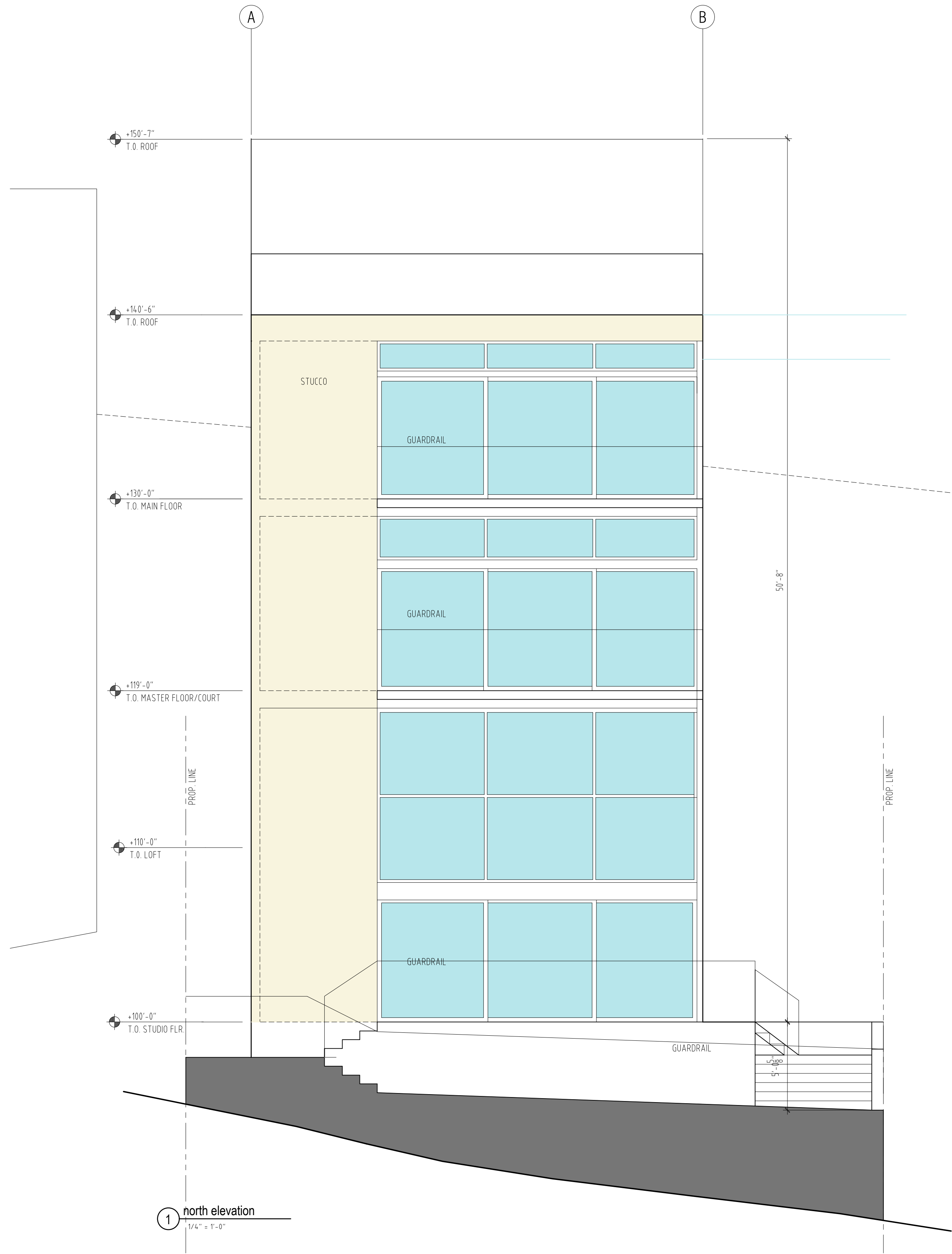


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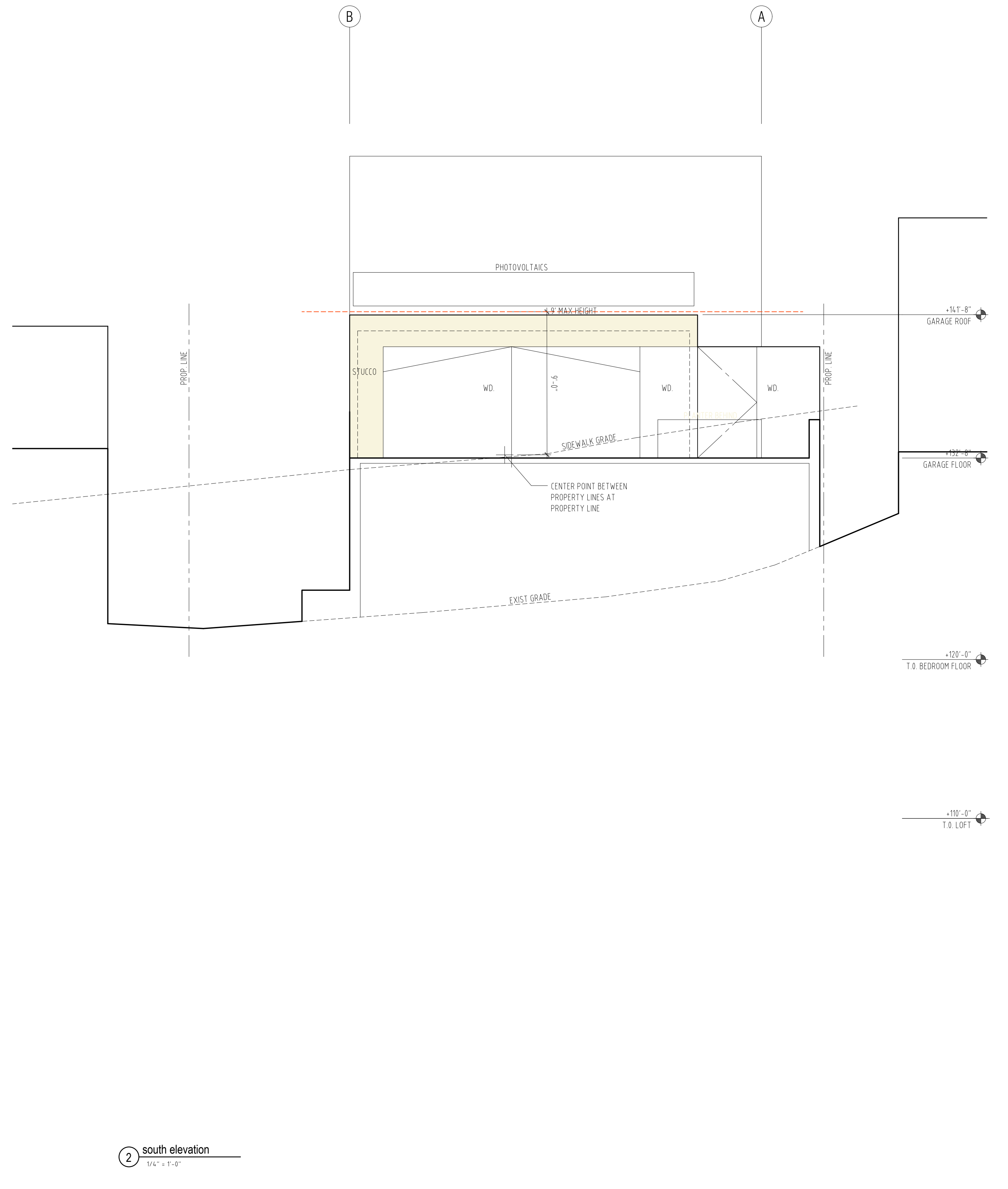
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a32

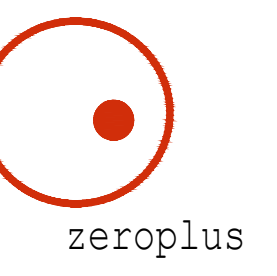
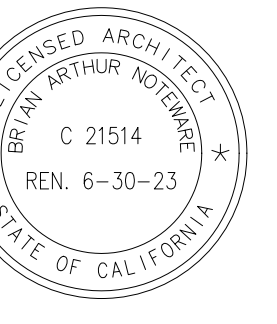


1 north elevation
1/4" = 1'-0"



2 south elevation
1/4" = 1'-0"

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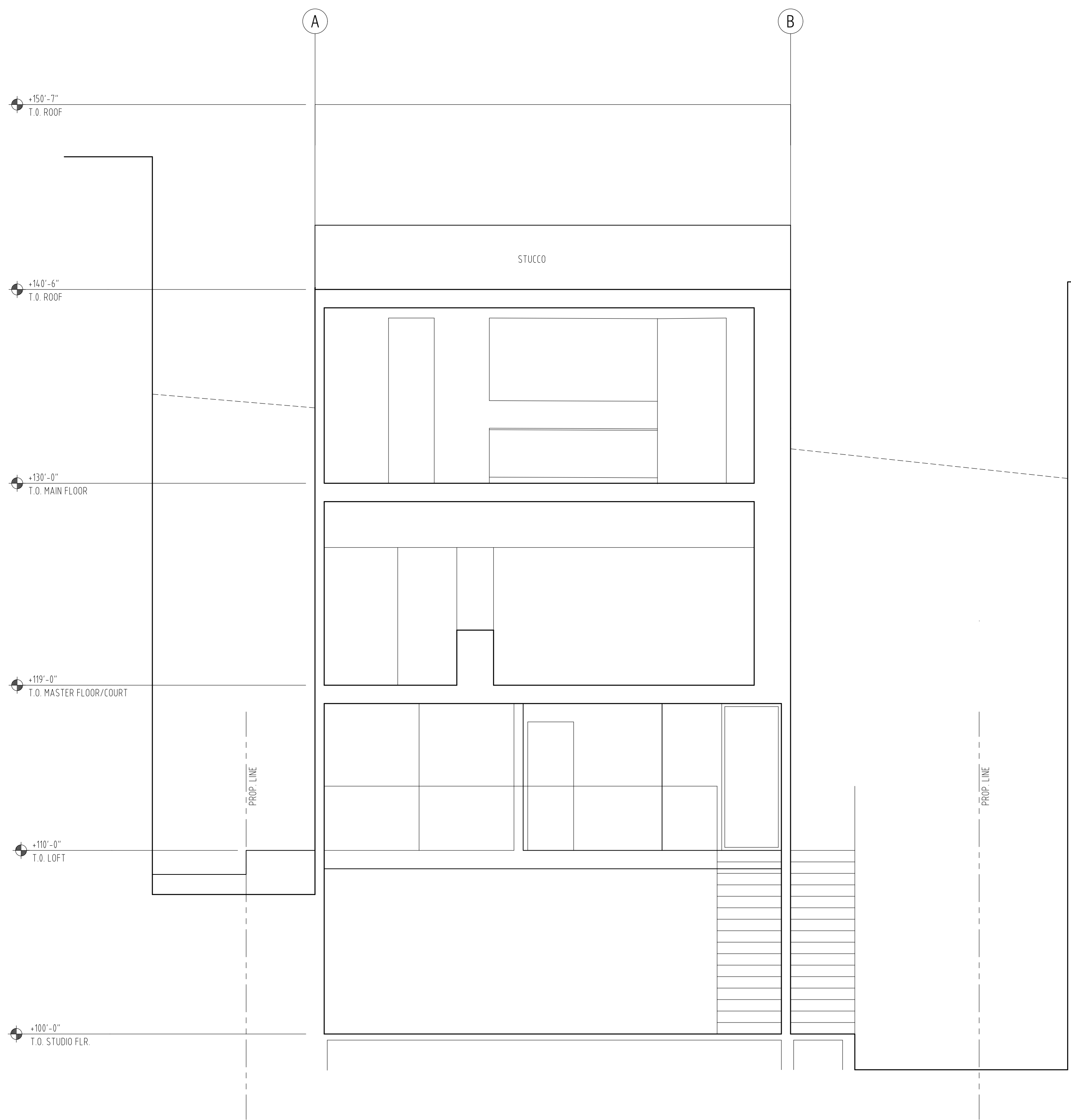


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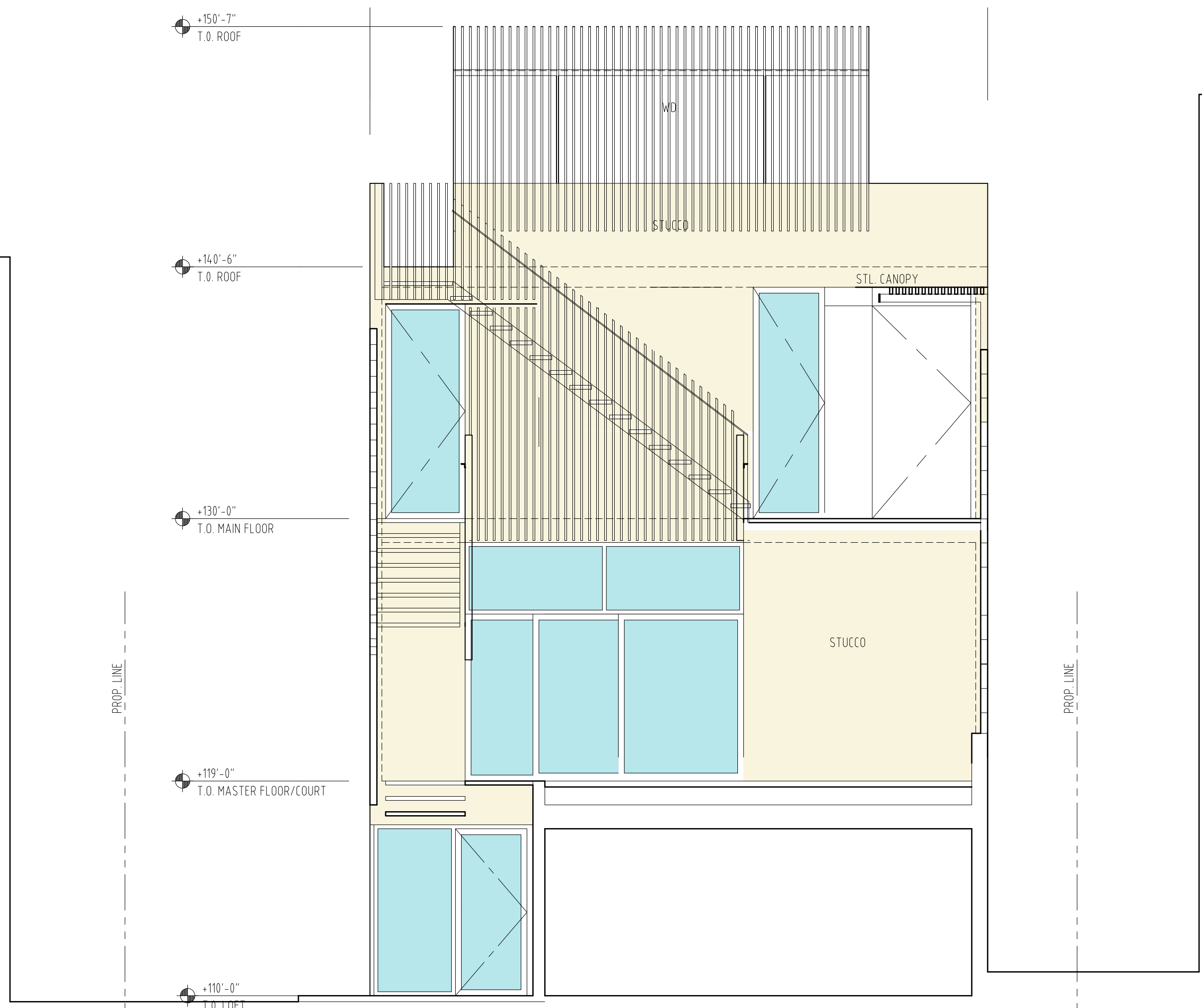
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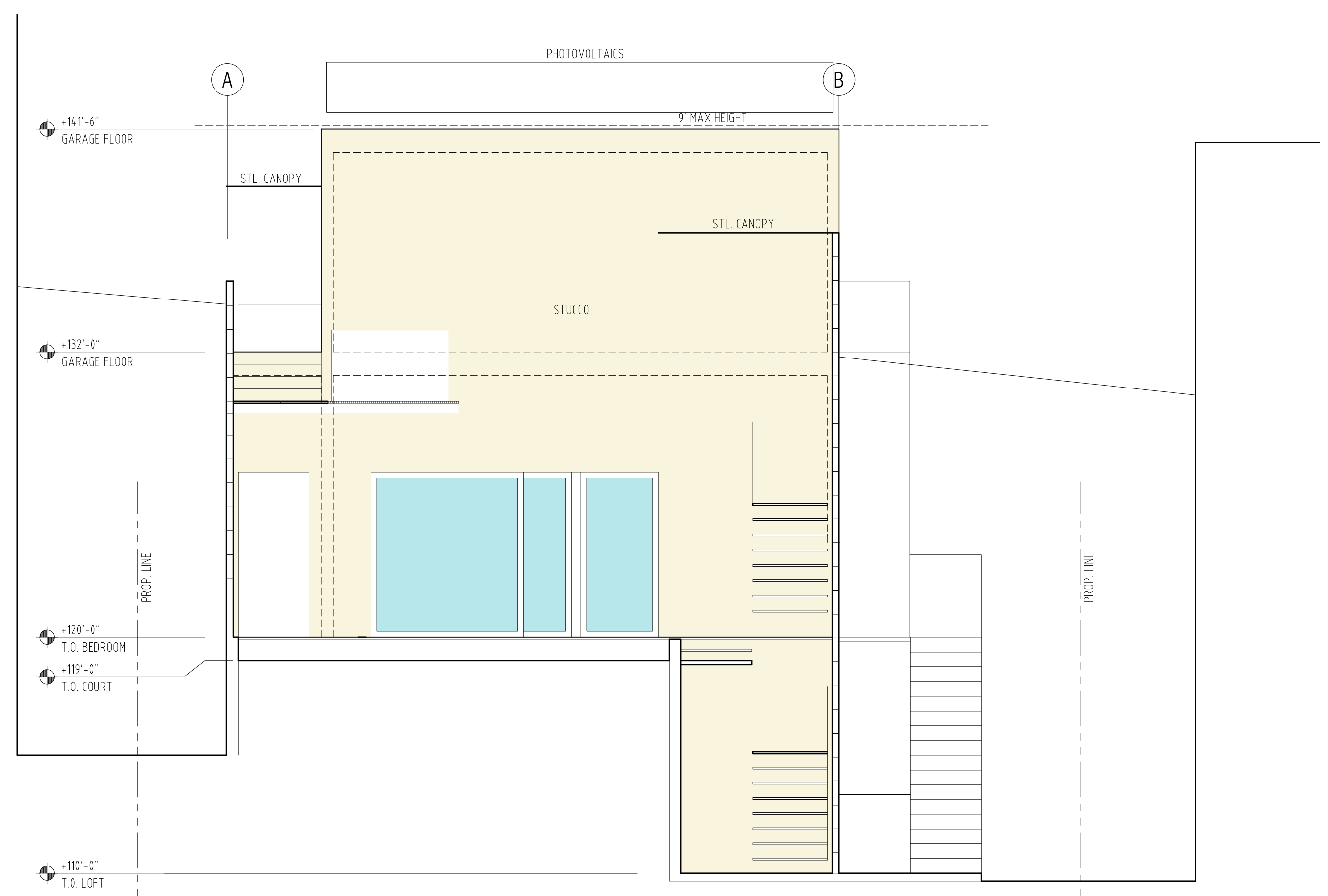
a33



1 e w section
1/4" = 1'-0"



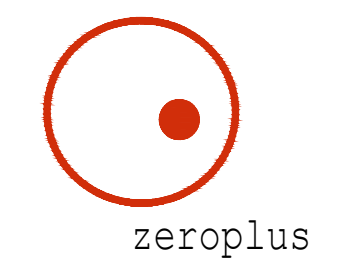
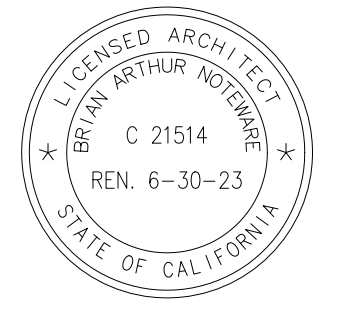
2 north courtyard elevation
1/4" = 1'-0"



3 south courtyard elevation
1/4" = 1'-0"

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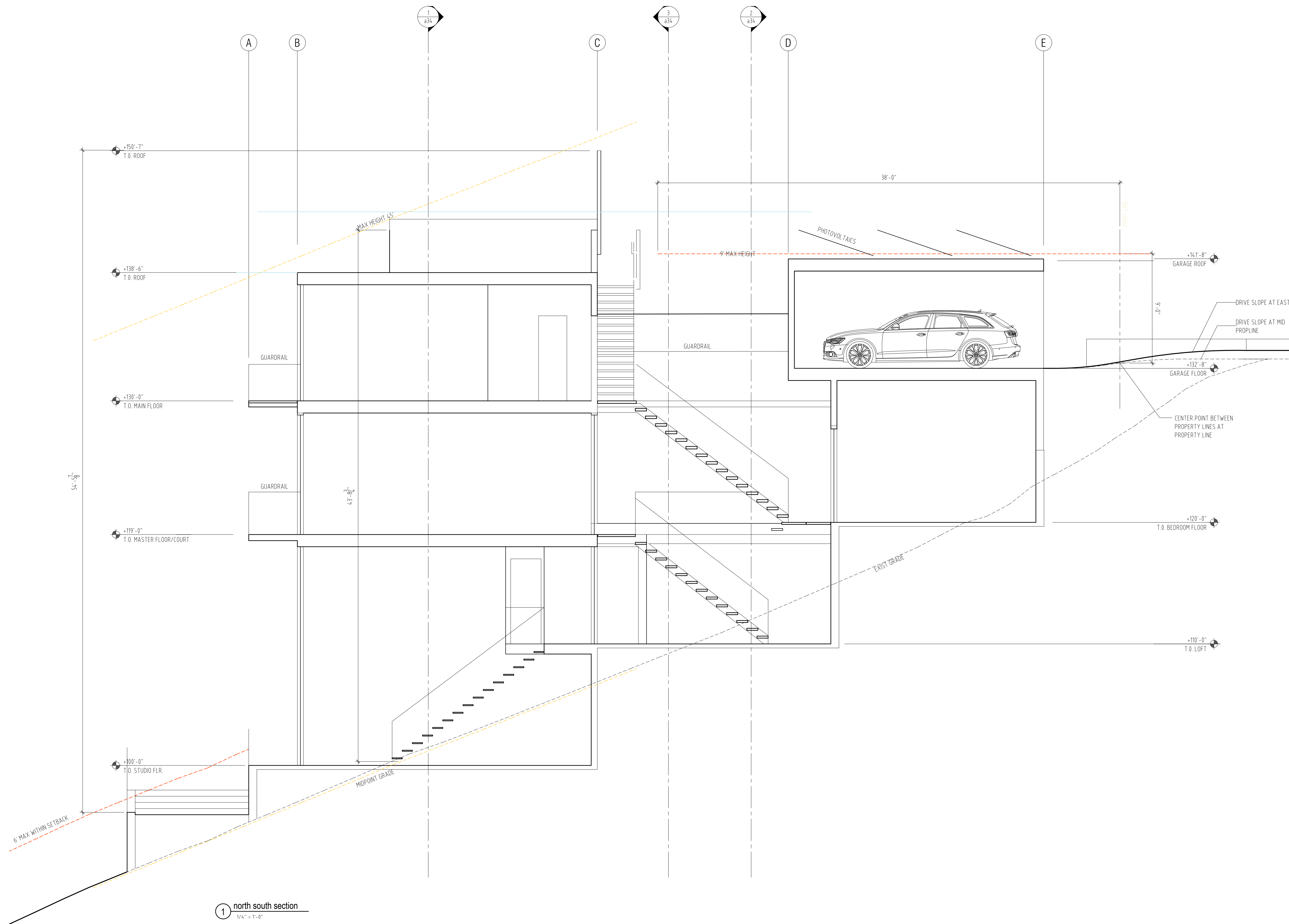


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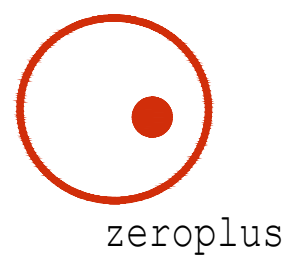
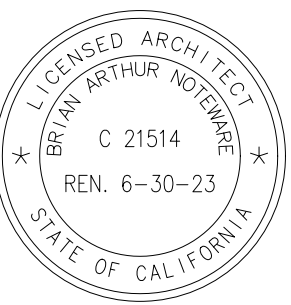
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1 north south section
1/4" = 1'-0"

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