

PROJECT

7346 S. RINDGE AVE.
PLAYA DEL REY, CA 90293

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PROJECT
7346 S. RINDGE AVE.
PLAYA DEL REY, CA 90293

DRAWING TITLE
COVER SHEET

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|-------------|-----------|
| PROJECT | SHEET |
| DATE | A0.0 |
| SCALE | DRAWN BY: |
| 3/16"=1'-0" | P.A. |

BUILDING ANALYSIS

CONSTRUCTION : TYPE V-B
OCCUPANCY GROUP: R-3 / U
GOVERNING BUILDING CODE: LARC 2017 & LABC 2017
LEGAL DESCRIPTION : LOT 22 BLOCK 31
TRACT: TR 8557
LOT AREA: 7,831.7 SQ. FT.
APN# : 4116027018

ZONING : R1-1
(COASTAL ZONE)
STORY: 2-STORY
BUILDING HEIGHT: 45'-0" (MAX. ALLOWED)
45'-0" (PROVIDED)

BUILDING SETBACK: REAR: 55'-4"
SIDE: 7'-0" / 7'-0"
FRONT: 6.98 FT.(PREVAILING)
9.33 FT.(PROVIDED)



| FLOOR AREA: SCHOOL FEE (EXT. WALLS) | |
|-------------------------------------|----------------------|
| FIRST FLOOR | 2,528 SQ. FT. |
| SECOND FLOOR | 2,342 SQ. FT. |
| BASEMENT | 1,322 SQ. FT. |
| TOTAL | 6,192 SQ. FT. |
| GARAGE | 512 SQ. FT. |
| ROOF DECK | 1,130 SQ. FT. |

| FLOOR AREA: BUILDING CODE (INT. WALLS) | |
|----------------------------------------|----------------------|
| FIRST FLOOR | 2,338 SQ. FT. |
| SECOND FLOOR | 2,188 SQ. FT. |
| BASEMENT | 1,194 SQ. FT. |
| COVERED PATIO | 308 SQ. FT. |
| TOTAL : | 6,028 SQ. FT. |
| GARAGE | 437 SQ. FT. |

SCOPE OF WORK

- * NEW 2 STORY HOUSE WITH ATTACHED GARAGE, BASEMENT & ROOF DECK.
- * BUILDING SHALL BE EQUIPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER IN ACCORDANCE WITH SECTION NFPA13D. (R313, 12.21A17(D))
- * THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION
- * NFPA 13-D AUTOMATIC SPRINKLER THROUGHOUT BUILDING AND ACCESSORY DWELLING UNIT

CONSULTANTS

STRUCTURAL ENGINEER

YUZON & ASSOCIATES
STRUCTURAL ENGINEER
19562 VENTURA BLVD,
TARZANA, CA 91356
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OWNER

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5455 WILSHIRE BLVD.
LOS ANGELES, CA 90036
SUITE #1811
(323)350-4401

TITLE 24

ENERGLO24
4826 ALLEN COURT
EUREKA, CA 95503
(818)665-6023

DESIGNER

NE DESIGNS, INC.
4926 VAN NUYS BLVD.
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(818)646-0116

VICINITY MAP





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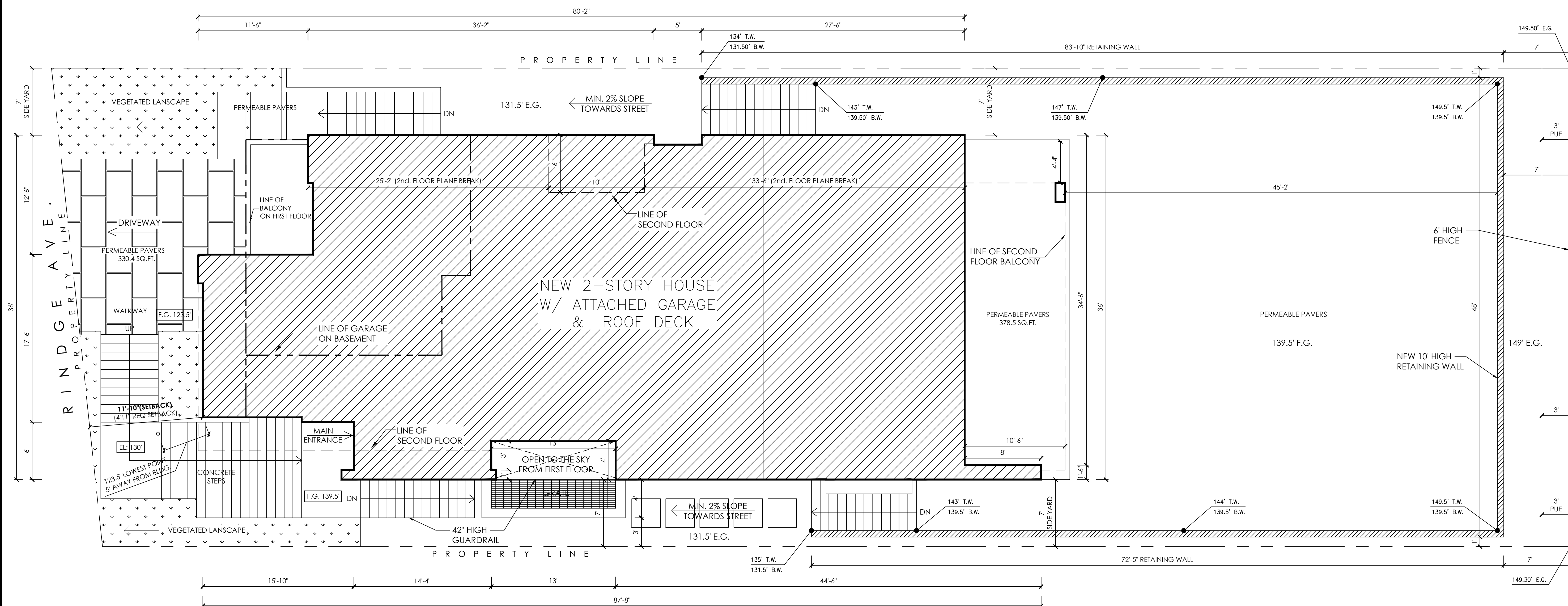
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PROJECT
7346 S. RINDGE AVE.
PLAYA DEL REY , CA 90293

DRAWING TITLE
SITE PLAN

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|-------------|-------------|
| PROJECT | SHEET |
| DATE | A2.0 |
| SCALE | DRAWN BY: |
| 3/16"=1'-0" | P.A. |



Legend :

- DRAINAGE ARROW SHOWING DIRECTION OF 2% SLOPE
- GRASS
- PERMEABLE PAVERS
SEE DET-14/AD-1

SITE PLAN

3/16" = 1'-0"

NOTES :

- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
- PROVIDE LOW CONSUMPTION WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- ALL CONCENTRATED DRAINAGE INCLUDING ROOF WATER SHALL BE CONDUCTED TO THE STREET IN AN APPROVED DEVICE AT 2% MINIMUM.
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE- FOOT CLEAR AND UNOBSTRUCT ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES(POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS,VALVES,METERS,APPURTENANCES,ETC.) OR TO THE LOCATION OF THE HOOK UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- CONSTRUCTION WASTE SHALL BE REDUCED BY 50%: CONTAINERS FOR WASTE AND RECYCLED MATERIAL MUST BE PROVIDED ON SITE AND CONTRACTOR TO VERIFY THAT WASTE AND RECYCLED MATERIAL WILL BE SEPARATED AND REMOVED BY CITY OF LOS ANGELES CERTIFIED HAULER
- MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE

HARDSCAPE CALCULATIONS

DRIVEWAY (PAVERS) = 330.40 SQ. FT.
WALKWAY (PAVERS) = 32.00 SQ. FT.
REAR YARD (PAVERS) = 378.50 SQ. FT.
SIDE YARDS (PAVERS) = 347.50 SQ. FT.
TOTAL PAVERS = 1,088.40 SQ. FT.

(SEE PERMEABLE PAVERS DETAIL ON W-4 AND 12/AD-1)

TOTAL (MAIN ENTRY) HARDSCAPE = 56.13 SQ. FT.

25% OF HARDSCAPE (56.13 SQ. FT.) = 14.03 SQ. FT. REQUIRED

PROVIDED 1,088.40 SQ. FT.
1,088.40 SQ. FT. > 14.03 FT. = OK



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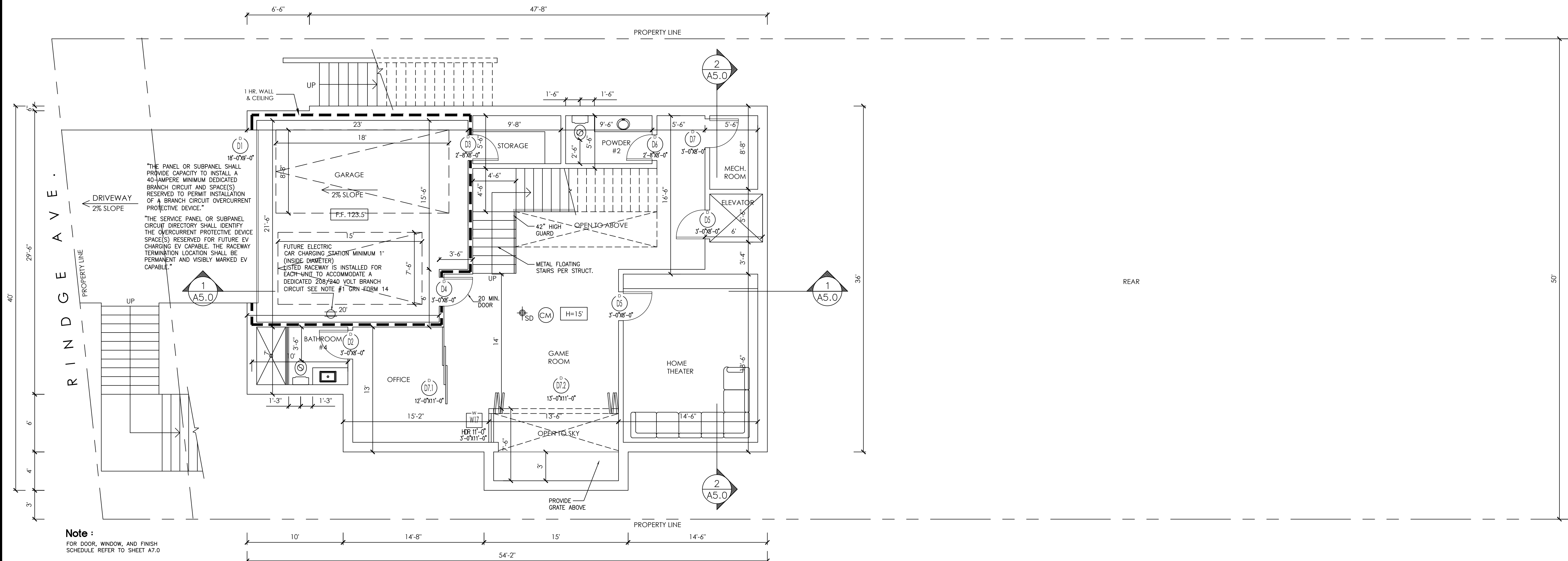
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PROJECT 7346 S. RINDGE AVE. PLAYA DEL REY, CA 90293

DRAWING TITLE GARAGE FLOOR PLAN

Table with 2 columns: PROJECT, SHEET, DATE, SCALE, DRAWN BY



FIRST FLOOR PLAN

3/16" = 1'-0"

Note: FOR DOOR, WINDOW, AND FINISH SCHEDULE REFER TO SHEET A7.0

Legend

- 1. WALLS
2. 1HR. FIRE SEPARATION WALL. SEE DET. 6/A0-1
3. WASHER AND DRYER TO UNIT VENT DRYER TO OUTSIDE AS PER MFR. SPEC.
4. 5 MIN. AIR CHANGE FAN EXHAUST SYSTEM WITH 50 CFM HUMIDISTAT OPENABLE FROM LIGHT SWITCH...

A. THE CONSTRUCTION SHALL NOT RESTRICT A FIVEFOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES... B. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE...

F. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION... G. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY... H. WATER HEATER MUST BE STRAPPED TO WALL.

I. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE... J. FOR EXISTING POOL ON SITE, PROVIDE ANTI ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS...

K. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325... L. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY... M. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES...

N. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS... O. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE

4. THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH TABLE R302.6... 5. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL...

6. DWELLING UNITS IN TWO-FAMILY DWELLINGS SHALL BE SEPARATED FROM EACH OTHER BY WALL AND/OR FLOOR ASSEMBLIES HAVING NOT LESS THAN A 1-HR FIRE-RESISTANCE RATING WHEN TESTED IN ACCORDANCE WITH ASTM E 119 OR UL 263... 8. MEMBRANE PENETRATIONS SHALL COMPLY WITH SECTION R302.4.1, WHERE WALLS ARE REQUIRED TO HAVE A FIRE RESISTANCE RATING RECESSED FIXTURES SHALL BE INSTALLED SO THAT THE REQUIRED FIRE-RESISTANCE RATING WILL NOT BE REDUCED.

FIRE-RESISTANCE RATED CONSTRUCTION

1. PROVIDE 1-HR FIRE-RESISTANCE EXTERIOR WALLS IF FIRE SEPARATION DISTANCE IS: LESS THAN 5' [T-R302.1(1)], OR LESS THAN 3' IF THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION R313. [T-R302.1(2)]

FIRE PROTECTION

1. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. (R313, 12.21A17(D)) 2. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.

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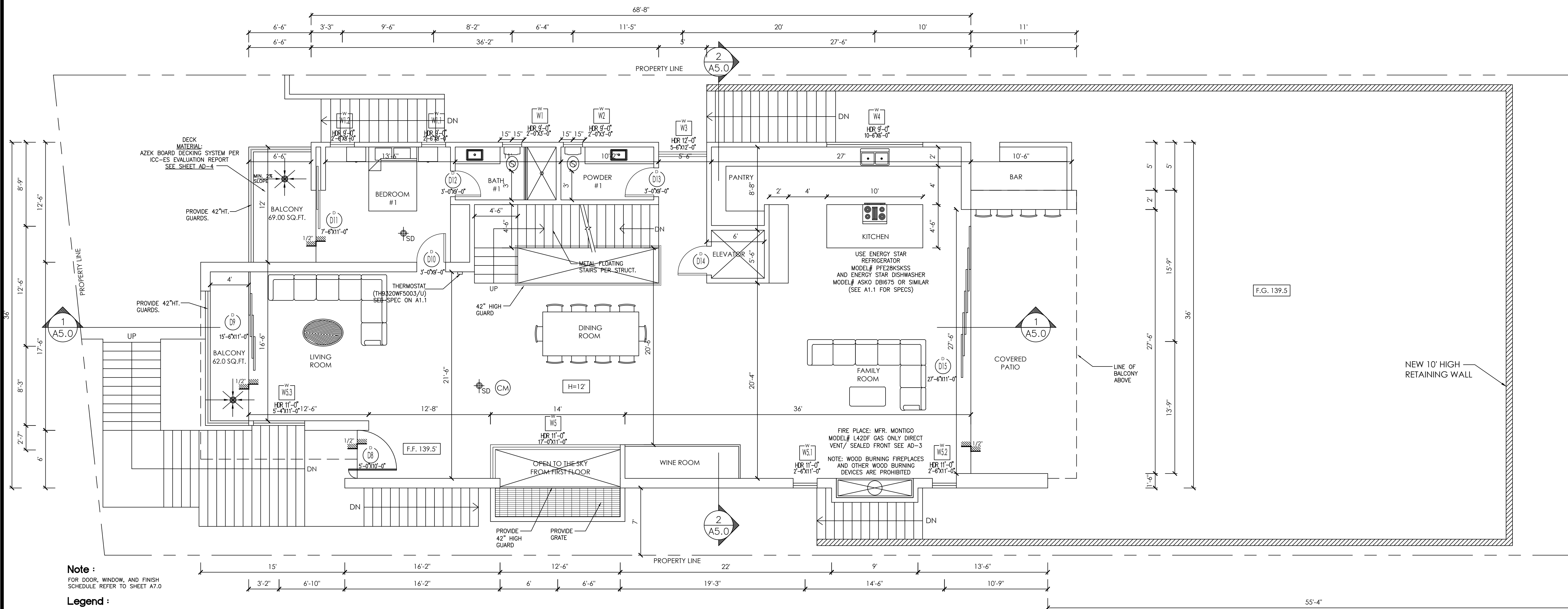
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PROJECT
7346 S. RINDGE AVE.
PLAYA DEL REY, CA 90293

DRAWING TITLE
FIRST FLOOR PLAN

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| PROJECT | SHEET |
| DATE | A3.1 |
| SCALE | DRAWN BY: |
| 3/16"=1'-0" | P.A. |



SECOND FLOOR PLAN

3/16" = 1'-0"

Note :
FOR DOOR, WINDOW, AND FINISH SCHEDULE REFER TO SHEET A7.0

Legend :

1. WALLS

2. 1HR. FIRE SEPARATION WALL. SEE DET. 6/AO-1

3. WASHER AND DRYER TO UNIT VENT DRYER TO OUTSIDE AS PER MFR. SPEC.

4. 5 MIN. AIR CHANGE FAN EXHAUST SYSTEM WITH 50 CFM HUMIDISTAT OPERABLE FROM LIGHT SWITCH. NEW INSTALLED BATHROOM EXHAUST FAN SHALL BE ENERGY STAR HUMIDISTAT CONTROLLED OF THE BUILDING. (9.506.1) COMPLIANT AND DUCTED TO TERMINATE TO THE OUTSIDE.

CM CARBON MONOXIDE

AREA DRAIN

5. HARD-WIRED SMOKE DETECTORS WITH A BATTERY BACKUP ARE REQUIRED IN ALL SLEEPING ROOMS AND HALLWAYS.

DETECTORS ARE ALSO REQUIRED ON THE 2ND FLOOR CEILING IN CLOSE PROXIMITY TO THE STAIRWAY.

FIRE PLACE: MFR. MONTIGO MODEL# L420F CSA# 1554432 GAS ONLY DIRECT VENT/ SEALED FRONT SEE AD-3

NOTE: WOOD BURNING FIREPLACES AND OTHER WOOD BURNING DEVICES ARE PROHIBITED

3. AN APPROVED SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. (R314)

4. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

A. THE CONSTRUCTION SHALL NOT RESTRICT A FIVEFOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOR-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES—WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

B. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).

C. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).

D. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

E. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

F. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

G. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)

H. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)

I. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)

J. FOR EXISTING POOL ON SITE, PROVIDE ANTI ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B)

K. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)

L. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLINGS OR SLEEPING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)

M. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)

N. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)

O. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE

OCUPANCY CLASSIFICATION TOWNHOUSE:
1. TOWNHOUSES SHALL BE SEPARATED BY TWO 1-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLIES COMPLYING WITH THE REQUIREMENTS OF SECTION R302.1 FOR EXTERIOR WALLS. A COMMON 1-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLY IS PERMITTED IF SUCH WALLS DO NOT CONTAIN PLUMBING OR MECHANICAL EQUIPMENT, DUCTS OR VENTS IN THE CAVITY OF THE COMMON WALL (R302.2).
2. THE FIRE-RESISTANCE-RATED WALL SEPARATING TOWNHOUSES SHALL BE CONTINUOUS FROM THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING, DECK OR SLAB, AND EXTEND THE FULL LENGTH OF THE WALL OR ASSEMBLY (R302.2.1).
3. PARAPETS SHALL BE PROVIDED FOR TOWNHOUSES AS AN EXTENSION OF EXTERIOR WALLS OR COMMON WALLS. PARAPETS SHALL EXTEND NOT LESS THAN 30 INCHES ABOVE THE ROOF SURFACE OR MEET THE CRITERIA IN SECTION R302.2.2 FOR PARAPET ALTERNATIVES (R302.2.3).
4. EACH INDIVIDUAL TOWNHOUSE SHALL BE STRUCTURALLY INDEPENDENT EXCEPT WHERE THE SEPARATION IS PROVIDED BY A COMMON 1-HOUR FIRE-RESISTANCE-RATED WALL. EXTERIOR SHEATHING, WALL COVERING AND ROOFING ARE EXEMPT FROM THE PROVISIONS REQUIRING STRUCTURAL INDEPENDENCE (R302.2.4)

GARAGE/ CARPORTS
1. THE PROPOSED BUILDING IS A GARAGE AND NOT ACARPORT SINCE IT IS NOT OPEN AT LEAST 2 SIDES. (R309.2)
2. OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES ARE NOT PERMITTED (R302.5.1).
3. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1-3/8 INCHES THICK. (R302.5.1)

FIRE-RESISTANCE RATED CONSTRUCTION
1. PROVIDE 1-HR FIRE-RESISTANCE EXTERIOR WALLS IF FIRE SEPARATION DISTANCE IS: LESS THAN 5' [T-R302.1(1)] , OR LESS THAN 3' IF THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION R313. [T-R302.1(2)]

2. SHOW HOW 1-HR FIRE-RESISTANCE IS BEING PROVIDED.
3. OPENINGS ARE NOT ALLOWED WITHIN 3'/5' FIRE SEPARATION DISTANCE. [T-R302.1(1) & T-R302.1(2)]
4. MAXIMUM 25% OPENING AREA IS ALLOWED WHEN THE FIRE SEPARATION DISTANCE IS >3' AND <5'. (T-R302.1(1))

4. THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH TABLE R302.6 (R302.6).
5. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.5.2).

BUILDING HEIGHT LIMITATION
1. PROVIDE CALCULATIONS FOR ESTABLISHING GRADE PLANE AS PER SECTION R201. ATTACH CALCULATIONS AND IDENTIFY ESTABLISHED GRADE PLANES ON ELEVATIONS PLANS AND SITE PLAN. (R201)
2. SHOW MAXIMUM HEIGHT OF THE STRUCTURE (IN FEET AND STORY) FROM AVERAGE HEIGHT OF HIGHEST ROOF SURFACE TO GRADE PLANE ON ALL ELEVATION VIEWS. (R201)
3. LOWEST LEVEL IS DETERMINED NOT TO BE A BASEMENT. THIS LEVEL IS CONSIDERED AS 1ST STORY ABOVE GRADE PLANE. INCLUDE THIS STORY IN TOTAL BUILDING HEIGHT. (R201)

FIRE-RESISTANCE RATED CONSTRUCTION
1. PROVIDE 1-HR FIRE-RESISTANCE EXTERIOR WALLS IF FIRE SEPARATION DISTANCE IS: LESS THAN 5' [T-R302.1(1)] , OR LESS THAN 3' IF THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION R313. [T-R302.1(2)]

2. SHOW HOW 1-HR FIRE-RESISTANCE IS BEING PROVIDED.
3. OPENINGS ARE NOT ALLOWED WITHIN 3'/5' FIRE SEPARATION DISTANCE. [T-R302.1(1) & T-R302.1(2)]
4. MAXIMUM 25% OPENING AREA IS ALLOWED WHEN THE FIRE SEPARATION DISTANCE IS >3' AND <5'. (T-R302.1(1))

5. PROJECTIONS BEYOND THE EXTERIOR WALL SHALL COMPLY WITH TABLE R302.1 AND SHALL NOT EXTEND:
a. TO A POINT CLOSER THAN 2 FEET FROM INTERIOR LOT LINE.
b. MORE THAN 4 INCHES AT THE ROOF EAVE FOR DETACHED GARAGES ACCESSORY TO A DWELLING WHEN LOCATED WITHIN 2 FEET OF A LOT LINE.
c. OVER THE LOT LINE FOR ACCESSORY STRUCTURES THAT ARE EXEMPT FROM PERMITS.
6. DWELLING UNITS IN TWO-FAMILY DWELLINGS SHALL BE SEPARATED FROM EACH OTHER BY WALL AND/OR FLOOR ASSEMBLIES HAVING NOT LESS THAN A 1-HR FIRE-RESISTANCE RATING WHEN TESTED IN ACCORDANCE WITH ASTM E 119 OR UL 263. PROVIDE COMPLETE DETAILS (R302.3)
7. THROUGH PENETRATIONS OF FIRE-RESISTANCE-RATED WALL OR FLOOR ASSEMBLIES SHALL COMPLY WITH SECTION R302.4.1.1 OR R302.4.1.2. PROVIDE DETAIL AND COPY OF LISTING ON THE PLANS. (R302.4.1)

8. MEMBRANE PENETRATIONS SHALL COMPLY WITH SECTION R302.4.1. WHERE WALLS ARE REQUIRED TO HAVE A FIRE RESISTANCE RATING RECESSED FIXTURES SHALL BE INSTALLED SO THAT THE REQUIRED FIRE-RESISTANCE RATING WILL NOT BE REDUCED. (R302.4.2)

FIRE PROTECTION
1. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. (R313, 12.21A17(D))
2. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.

FIRE PROTECTION
1. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. (R313, 12.21A17(D))
2. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.

GENERAL NOTES

RESTRICTIONS: THESE PLANS AND INCORPORATED DESIGNS EMBODIED THEREON ARE THE PROPERTY OF N.E. DESIGNS INC. THE USE OF THESE PLANS ARE RESTRICTED TO THE ORIGINAL SITE AND OWNER FOR WHICH THEY WERE PREPARED. PUBLICATION AND REPRODUCTION IS RESTRICTED TO SUCH USE. PUBLICATION AND REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND DESIGNS REMAIN WITH N.E. DESIGNS INC. VISUAL CONTACT WITH THEM CONSTITUTE APPROVAL WITH THESE RESTRICTIONS.

OWNER

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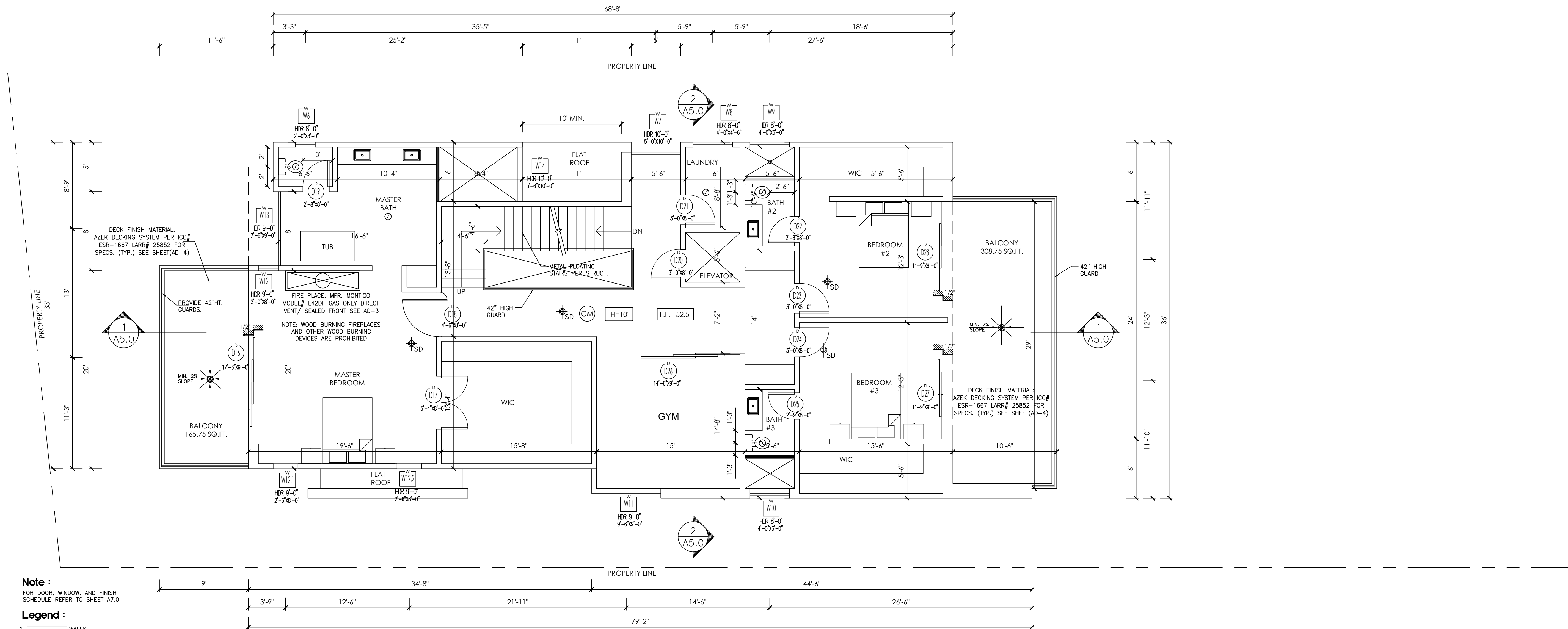
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PROJECT
7346 S. RINDGE AVE.
PLAYA DEL REY, CA 90293

DRAWING TITLE
SECOND FLOOR PLAN

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| PROJECT | SHEET |
| DATE | A3.2 |
| SCALE | DRAWN BY: |
| 3/16"=1'-0" | P.A. |



THIRD FLOOR PLAN

3/16" = 1'-0"

- Note:**
FOR DOOR, WINDOW, AND FINISH SCHEDULE REFER TO SHEET A7.0
- Legend:**
- 1. WALLS
 - 2. 1HR. FIRE SEPARATION WALL. SEE DET. 6/AO-1
 - 3. WASHER AND DRYER TO UNIT VENT DRYER TO OUTSIDE AS PER MFR. SPEC.
 - 4. 5 MIN. AIR CHANGE FAN EXHAUST SYSTEM WITH 50 CFM HUMIDISTAT OPENABLE FROM LIGHT SWITCH. NEW INSTALLED BATHROOM EXHAUST FAN SHALL BE ENERGY STAR HUMIDISTAT CONTROLLED OF THE BUILDING. (9.506.1) COMPLIANT AND DUCTED TO TERMINATE TO THE OUTSIDE.
 - 5. HARD-WIRED SMOKE DETECTORS WITH A BATTERY BACKUP ARE REQUIRED IN ALL SLEEPING ROOMS AND HALLWAYS. DETECTORS ARE ALSO REQUIRED ON THE 2ND FLOOR CEILING IN CLOSE PROXIMITY TO THE STAIRWAY.

- 6. FIRE PLACE: MFR. MONTIGO MODEL # L42DF GAS ONLY DIRECT VENT/ SEALED FRONT SEE AD-3
- 7. NOTE: WOOD BURNING FIREPLACES AND OTHER WOOD BURNING DEVICES ARE PROHIBITED
- 8. AN APPROVED SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. (R314)
- 9. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

- A. THE CONSTRUCTION SHALL NOT RESTRICT A FIVEFOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOD-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES—WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- B. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).
- C. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
- D. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
- E. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
- F. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- G. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)
- H. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)
- I. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)
- J. FOR EXISTING POOL ON SITE, PROVIDE ANTI ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B)

- K. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)
- L. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLINGS OR SLEEPING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)
- M. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.)
- N. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
- O. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE

- OCCUPANCY CLASSIFICATION
TOWNHOUSE:
- 1. TOWNHOUSES SHALL BE SEPARATED BY TWO 1-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLIES COMPLYING WITH THE REQUIREMENTS OF SECTION R302.1 FOR EXTERIOR WALLS. A COMMON 1-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLY IS PERMITTED IF SUCH WALLS DO NOT CONTAIN PLUMBING OR MECHANICAL EQUIPMENT, DUCTS OR VENTS IN THE CAVITY OF THE COMMON WALL (R302.2).
 - 2. THE FIRE-RESISTANCE-RATED WALL SEPARATING TOWNHOUSES SHALL BE CONTINUOUS FROM THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING, DECK OR SLAB, AND EXTEND THE FULL LENGTH OF THE WALL OR ASSEMBLY (R302.2.1).
 - 3. PARAPETS SHALL BE PROVIDED FOR TOWNHOUSES AS AN EXTENSION OF EXTERIOR WALLS OR COMMON WALLS. PARAPETS SHALL EXTEND NOT LESS THAN 30 INCHES ABOVE THE ROOF SURFACE OR MEET THE CRITERIA IN SECTION R302.2.2 FOR PARAPET ALTERNATIVES (R302.2.3).
 - 4. EACH INDIVIDUAL TOWNHOUSE SHALL BE STRUCTURALLY INDEPENDENT EXCEPT WHERE THE SEPARATION IS PROVIDED BY A COMMON 1-HOUR FIRE-RESISTANCE-RATED WALL. EXTERIOR SHEATHING, WALL COVERING AND ROOFING ARE EXEMPT FROM THE PROVISIONS REQUIRING STRUCTURAL INDEPENDENCE (R302.2.4)
- GARAGE/ CARPORTS
- 1. THE PROPOSED BUILDING IS A GARAGE AND NOT ACARPORT SINCE IT IS NOT OPEN AT LEAST 2 SIDES. (R309.2)
 - 2. OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES ARE NOT PERMITTED (R302.5.1).
 - 3. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1-3/8 INCHES THICK. (R302.5.1)

- 4. THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH TABLE R302.6 (R302.6).
 - 5. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.5.2).
- BUILDING HEIGHT LIMITATION
- 1. PROVIDE CALCULATIONS FOR ESTABLISHING GRADE PLANE AS PER SECTION R201. ATTACH CALCULATIONS AND IDENTIFY ESTABLISHED GRADE PLANES ON ELEVATIONS PLANS AND SITE PLAN. (R201)
 - 2. SHOW MAXIMUM HEIGHT OF THE STRUCTURE (IN FEET AND STORY) FROM AVERAGE HEIGHT OF HIGHEST ROOF SURFACE TO GRADE PLANE ON ALL ELEVATION VIEWS. (R201)
 - 3. LOWEST LEVEL IS DETERMINED NOT TO BE A BASEMENT. THIS LEVEL IS CONSIDERED AS 1ST STORY ABOVE GRADE PLANE. INCLUDE THIS STORY IN TOTAL BUILDING HEIGHT. (R201)
- FIRE-RESISTANCE RATED CONSTRUCTION
- 1. PROVIDE 1-HR FIRE-RESISTANCE EXTERIOR WALLS IF FIRE SEPARATION DISTANCE IS: LESS THAN 5' [T-R302.1(1)], OR LESS THAN 3' IF THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION R313. [T-R302.1(2)]
 - 2. SHOW HOW 1-HR FIRE-RESISTANCE IS BEING PROVIDED.
 - 3. OPENINGS ARE NOT ALLOWED WITHIN 3/ 5' FIRE SEPARATION DISTANCE. [T-R302.1(1) & T-R302.1(2)]
 - 4. MAXIMUM 25% OPENING AREA IS ALLOWED WHEN THE FIRE SEPARATION DISTANCE IS >3' AND <5'. (T-R302.1(1))

- 5. PROJECTIONS BEYOND THE EXTERIOR WALL SHALL COMPLY WITH TABLE R302.1 AND SHALL NOT EXTEND:
 - a. TO A POINT CLOSER THAN 2 FEET FROM INTERIOR LOT LINE.
 - b. MORE THAN 4 INCHES AT THE ROOF EAVE FOR DETACHED GARAGES ACCESSORY TO A DWELLING WHEN LOCATED WITHIN 2 FEET OF A LOT LINE.
 - c. OVER THE LOT LINE FOR ACCESSORY STRUCTURES THAT ARE EXEMPT FROM PERMITS.
 - 6. DWELLING UNITS IN TWO-FAMILY DWELLINGS SHALL BE SEPARATED FROM EACH OTHER BY WALL AND/OR FLOOR ASSEMBLIES HAVING NOT LESS THAN A 1-HR FIRE-RESISTANCE RATING WHEN TESTED IN ACCORDANCE WITH ASTM E 119 OR UL 263. PROVIDE COMPLETE DETAILS (R302.3)
 - 7. THROUGH PENETRATIONS OF FIRE-RESISTANCE-RATED WALL OR FLOOR ASSEMBLIES SHALL COMPLY WITH SECTION R302.4.1.1 OR R302.4.1.2. PROVIDE DETAIL AND COPY OF LISTING ON THE PLANS. (R302.4.1)
 - 8. MEMBRANE PENETRATIONS SHALL COMPLY WITH SECTION R302.4.1. WHERE WALLS ARE REQUIRED TO HAVE A FIRE RESISTANCE RATING RECESSED FIXTURES SHALL BE INSTALLED SO THAT THE REQUIRED FIRE-RESISTANCE RATING WILL NOT BE REDUCED. (R302.4.2)
- FIRE PROTECTION
- 1. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. (R313, 12.21A17(D))
 - 2. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.



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GENERAL NOTES

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CONSTITUTE APPROVAL WITH THESE
RESTRICTIONS.

OWNER

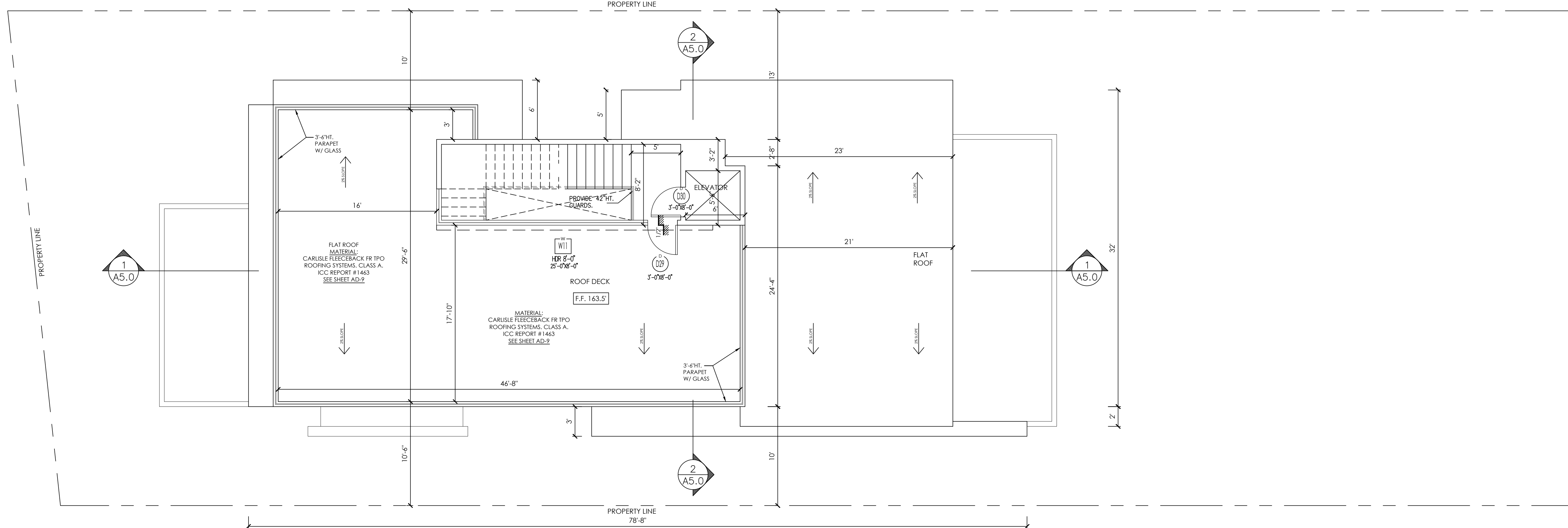
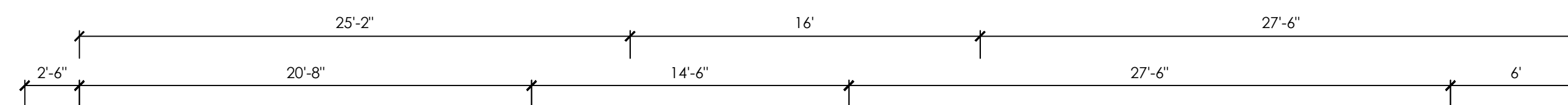
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PROJECT
7346 S. RINDGE AVE.
PLAYA DEL REY, CA 90293

DRAWING TITLE
ROOF PLAN

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| PROJECT | SHEET |
| DATE | A4.0 |
| SCALE | DRAWN BY: |
| 3/16"=1'-0" | P.A. |



ROOF PLAN

3/16" = 1'-0"

Note :

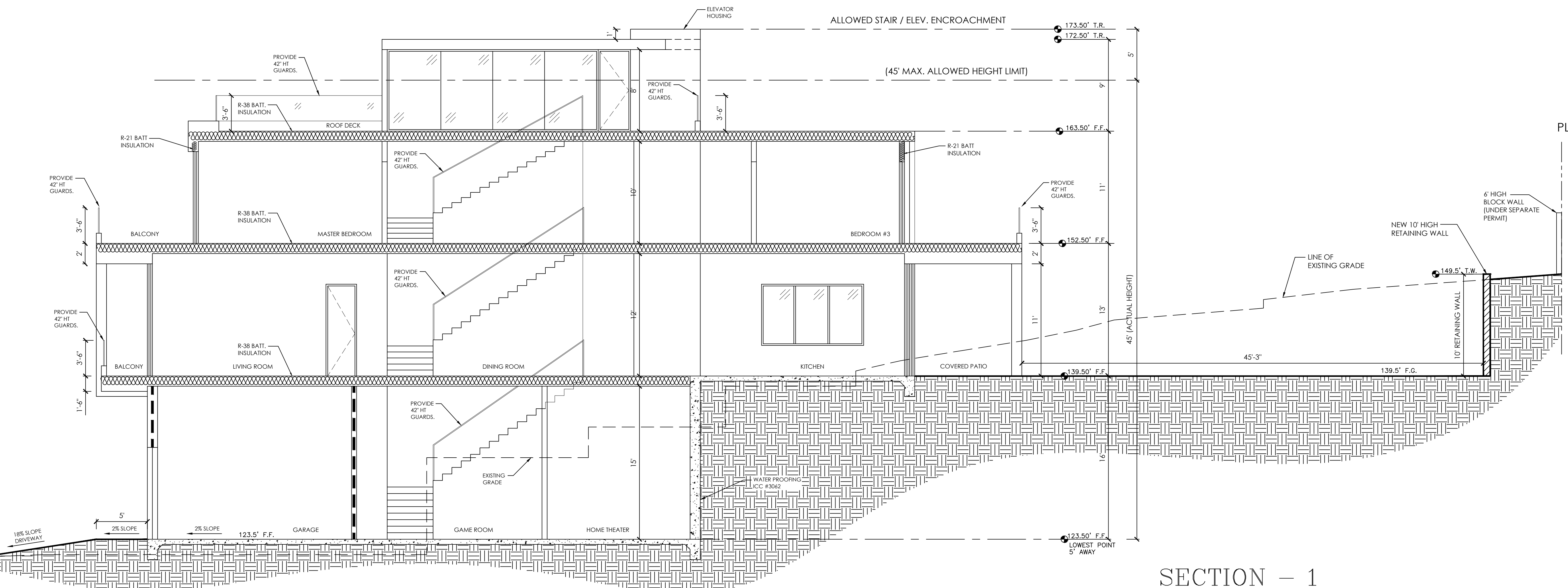
- MINIMUM ROOF SLOPE OF 3/8" PER FOOT SHALL BE PROVIDED AT ANY POINT OF THE ROOF. PROVIDE UNIFORM SLOPE TOWARD DOWNSPOUTS AND/OR SCUPPERS AS INDICATED ON ROOF PLAN. (REFER TO DETAILS FOR DOWNSPOUTS AND SCUPPERS INCLUDED IN THIS DRAWINGS.)
- INSULATIONS SHALL BE INSTALLED AT BOTTOM OF JOISTS OR FRAMING UNDER ENTIRE ROOF. USE R-30 INSULATION WITH VAPOR BARRIER.
- CHECK & VERIFY LOCATIONS & EXACT SIZES OF ALL A/C EQUIPMENT, REQUIRED OPENINGS & SUPPORTS WITH A/C CONTRACTORS BEFORE FRAMING BEGINS. ANY REWORKING REQUIRED TO ACCOMMODATE EQUIPMENT IN QUESTION SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
- PAINT ALL ROOF EQUIPMENTS. ALL ROOF METAL SHALL RECEIVE TWO (2) COATS OF EXTERIOR SEMI GLOSS PAINT. VERIFY COLOR W/ARCHITECT.
- TELEVISION ANTENNA CROSSARMS OR OTHER ROOF OBSTRUCTIONS SHALL BE LOCATED 20'-0" MIN. FROM EDGE OF ROOF & 7'-0" MIN. ABOVE ROOF.
- PROVIDE ATTIC DRAFT STOPS AS REQUIRED (SEE ROOF PLAN & DETAILS). DRAFT STOPS SHALL DIVIDE ATTIC SPACES INTO AREAS NOT TO EXCEED 3,000 SQ. FT. PER UBC SEC.3205 (8). SEE DETAILS FOR WOOD & GYP. BOARD DRAFT STOPS. PROVIDE 2" X ___ WOOD FRAMING AS REQUIRED TO COMPLETE ITS CONSTRUCTION.
- PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE, STOVE OR BARBECUE.
- PROVIDE GRAVITY TYPE ATTIC VENTILATORS AT ROOF IF TRUSSES ARE NOT OF SOLID WEB CONSTRUCTION. WHEN ATTIC DRAFT STOP ARE REQUIRED PROVIDE TWO (2) ROOF GRAVITY VENTILATORS FOR EACH DIVISION.
- CONTRACTOR TO CONFIRM THAT ALL AREAS ARE PROVIDED WITH POSITIVE DRAINAGE PRIOR TO SHEATHING THE ROOF.
- CRICKET WITH 1/2" PLYWOOD OVER 2" X ___ SLEEPERS TYPICAL.
- THE ROOFS FOR THE MAIN BUILDING AND THE EXISTING BUILDING ARE TO BE INSPECTED BY A QUALIFIED ROOFING SPECIALIST TO VERIFY THAT:
 - ALL EXISTING ROOFING MATERIALS AND INSTALLATION METHODSHAVE BEEN PROPERLY INSTALLED AND MAINTAINED.
 - ASSOCIATED FLASHINGS AN SHEET METAL HAVE BEEN PROPERLY INSTALLED AND MAINTAINED.
 - THE ROOFS ARE TO BE FLOOD TESTED IN A MANNER APPROPRIATE TO THE TYPE EXISTING ROOFING SEE NOTE 12 BELOW.
 - ANY DEFICIENCIES OR LEAK CONDITIONS ARE TO BE CORRECTED TO INSURE A WATERTIGHT INSTALLATION FOR A PERIOD OF ONE YEAR FROM THE TIME OF PROJECT ACCEPTANCE BY THE TENNANT.
- ROOF FLOOD TEST TO BE CONDUCTED IN THE PRESENCE PROVIDE MIN. 96 HRS. NOTICE TO BOTH PARTIES.
- ATTIC NET VENTILATION AREA RATIO IS 1/150 OF ATTIC AREA ,VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY THE EAVE VENTS. OPENINGS SHALL HAVE 1/4 INCH CORROSION RESISTANT METAL MESH COVERING.
 - * PROVIDE RAIN GUTTERS AND CONVEY RAIN WATER TO THE STREET.

NOTE:
THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR PANEL".

EXCEPTION 7 TO SECTION 110.10(B)1A: SINGLE FAMILY RESIDENCES MEETING THE FOLLOWING CONDITIONS:
A. ALL THERMOSTATS COMPLY WITH REFERENCE JOINT APPENDIX JA5 AND ARE CAPABLE OF RECEIVING AND RESPONDING TO DEMAND RESPONSE SIGNALS PRIOR TO GRANTING OF AN OCCUPANCY PERMIT BY THE ENFORCING AGENCY.
B. COMPLY WITH ONE OF THE FOLLOWING MEASURES:
I. INSTALL A DISHWASHER THAT MEETS OR EXCEEDS THE ENERGY STAR PROGRAM REQUIREMENTS WITH EITHER A REFRIGERATOR THAT MEETS OR EXCEEDS THE ENERGY STAR PROGRAM REQUIREMENTS OR A WHOLE HOUSE FAN DRIVEN BY AN ELECTRONICALLY COMMUTATED MOTOR; OR II. INSTALL A HOME AUTOMATION SYSTEM CAPABLE OF, AT A MINIMUM, CONTROLLING THE APPLIANCES AND LIGHTING OF THE DWELLING AND RESPONDING TO DEMAND RESPONSE SIGNALS; OR
III. INSTALL ALTERNATIVE PLUMBING PIPING TO PERMIT THE DISCHARGE FROM THE CLOTHES WASHER AND ALL SHOWERS AND BATHTUBS TO BE USED FOR AN IRRIGATION SYSTEM IN COMPLIANCE WITH THE CALIFORNIA PLUMBING CODE AND ANY APPLICABLE LOCAL ORDINANCES; OR
IV. INSTALL A RAINWATER CATCHMENTS SYSTEM DESIGNED TO COMPLY WITH THE CALIFORNIA PLUMBING CODE AND ANY APPLICABLE LOCAL ORDINANCES, AND THAT USES RAINWATER FLOWING FROM AT LEAST 65 PERCENT OF THE AVAILABLE ROOF AREA.

<SEE SHEET A1.1 FOR MORE INFORMATION>

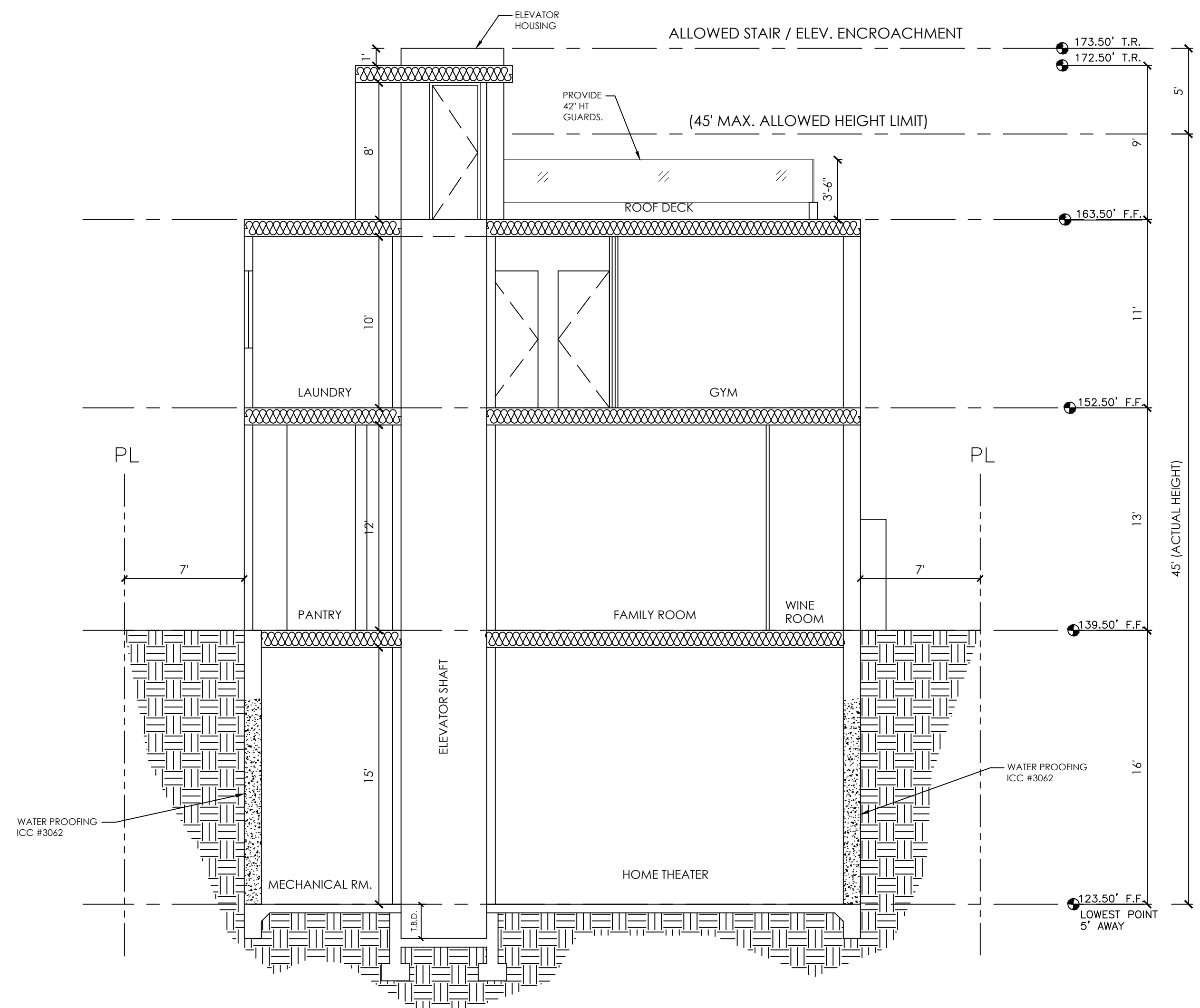
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SECTION - 1

3/16" = 1'-0"

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SECTION - 2

3/16" = 1'-0"



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TITLE TO THE PLANS AND DESIGNS
REMAIN WITH N.E. DESIGNS INC.
VISUAL CONTACT WITH THEM
CONSTITUTE APPROVAL WITH THESE
RESTRICTIONS.

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PROJECT
7346 S. RINDGE AVE.
PLAYA DEL REY , CA 90293

DRAWING TITLE
SECTIONS

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| PROJECT | SHEET |
| DATE | A5.0 |
| SCALE | DRAWN BY: |
| 3/16"=1'-0" | P.A. |



DESIGNS, INC.

RESIDENTIAL, COMMERCIAL
& INTERIOR DESIGN SERVICES

15230 BURBANK BLVD. #106,
SHERMAN OAKS, CA 91411
OFFICE 818.789.6439
FAX 818.789.6941

WWW.NEDESIGNSINC.COM

GENERAL NOTES

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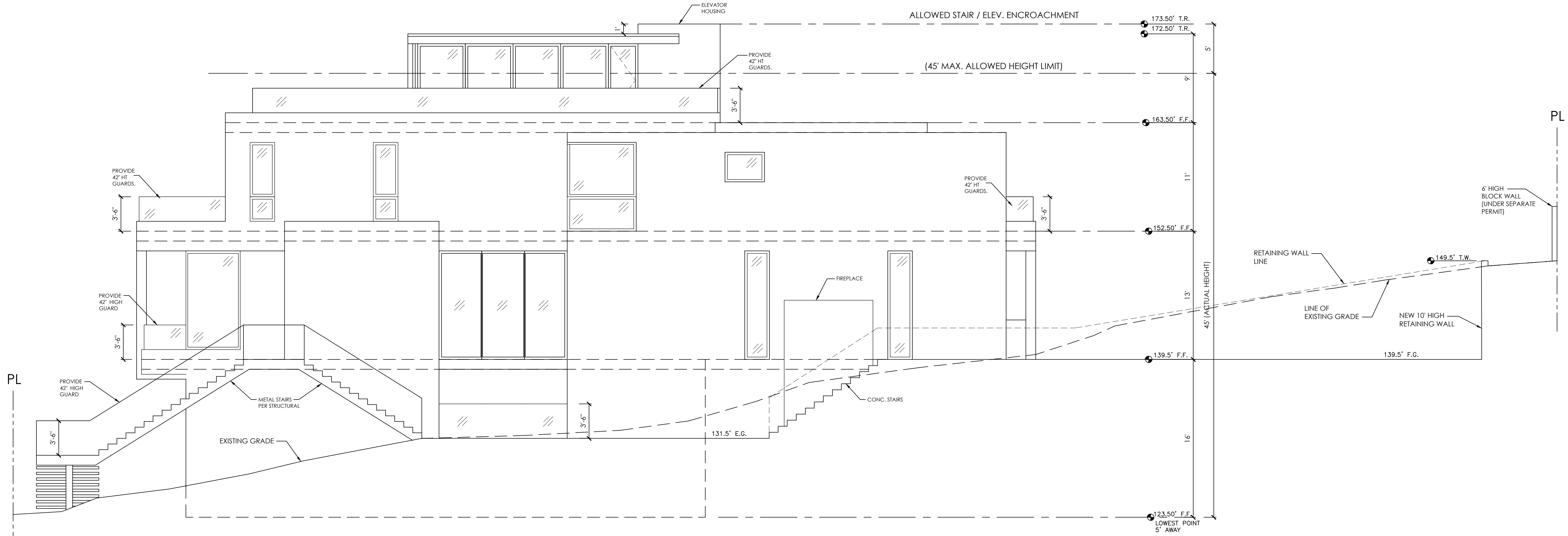
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PROJECT
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PLAYA DEL REY , CA 90293

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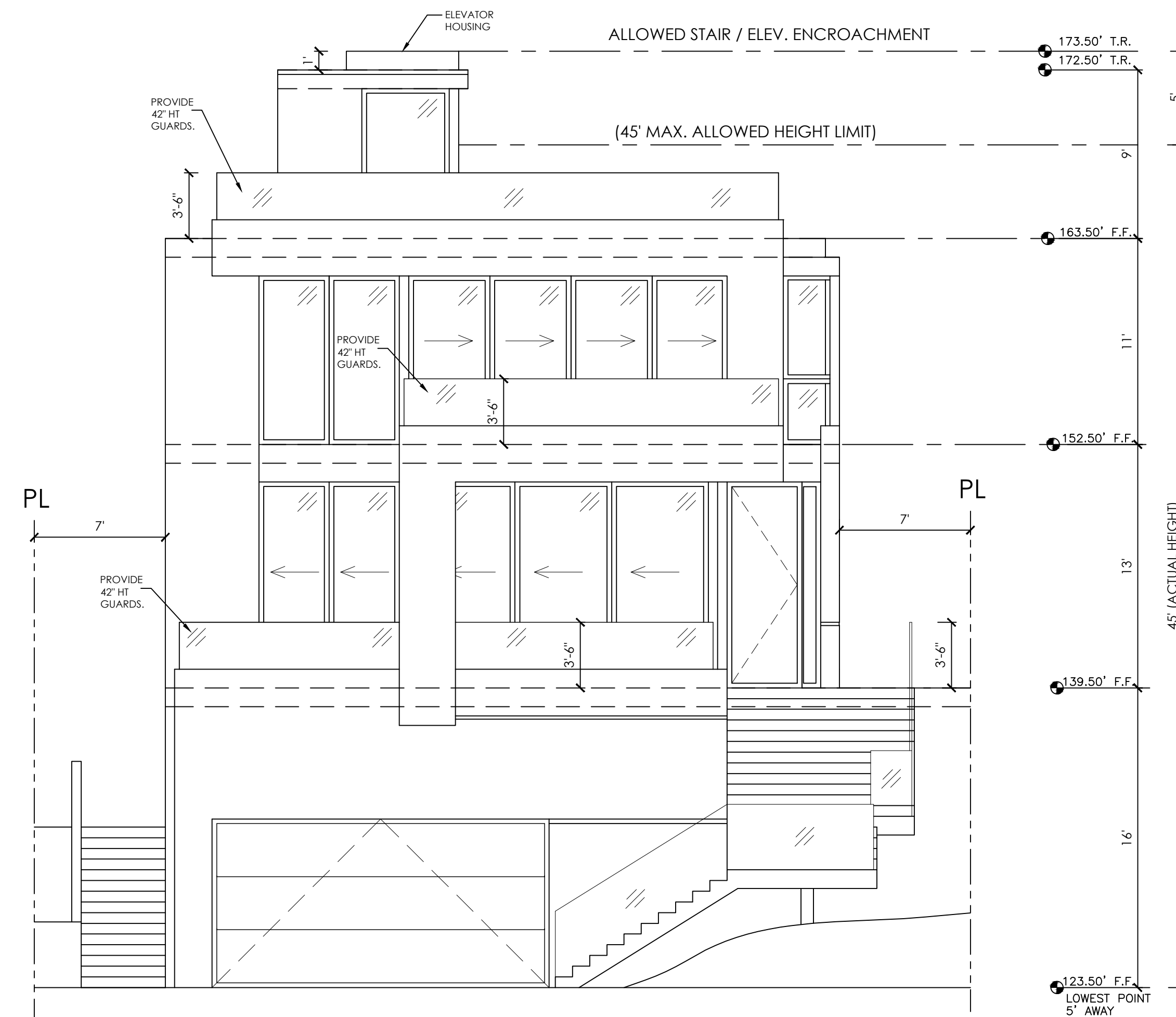
DRAWING TITLE
ELEVATIONS

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| PROJECT | SHEET |
| DATE | A6.0 |
| SCALE | DRAWN BY: |
| 3/16"=1'-0" | P.A. |



SOUTH ELEVATION

3/16" = 1'-0"



WEST ELEVATION

3/16" = 1'-0"



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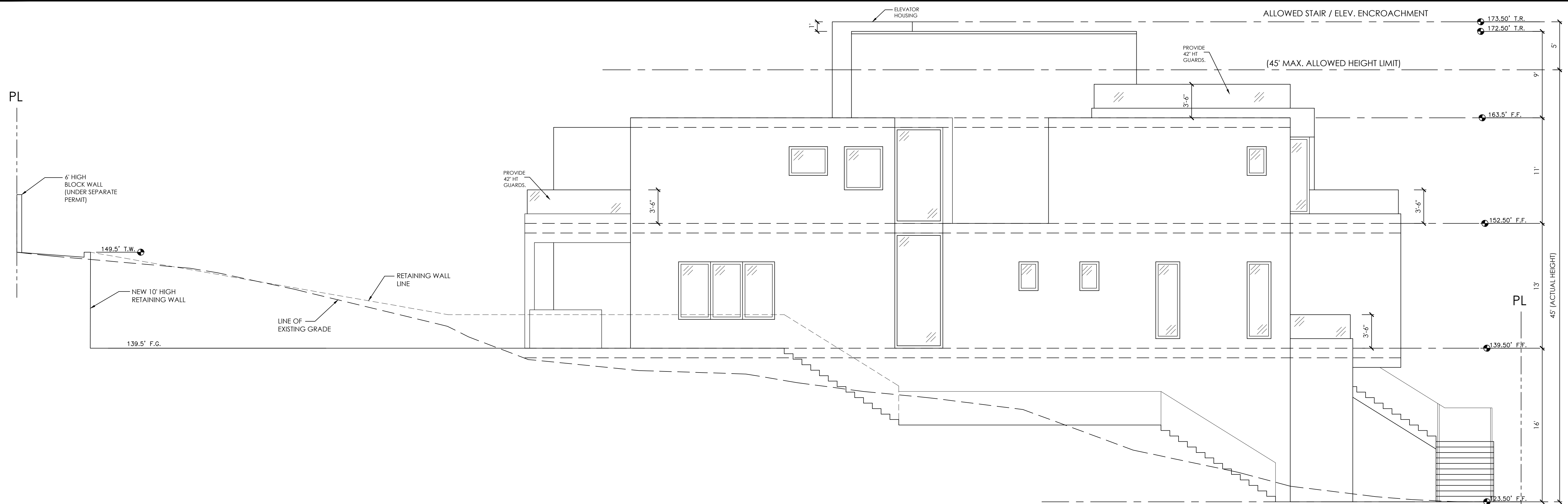
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PLAYA DEL REY , CA 90293

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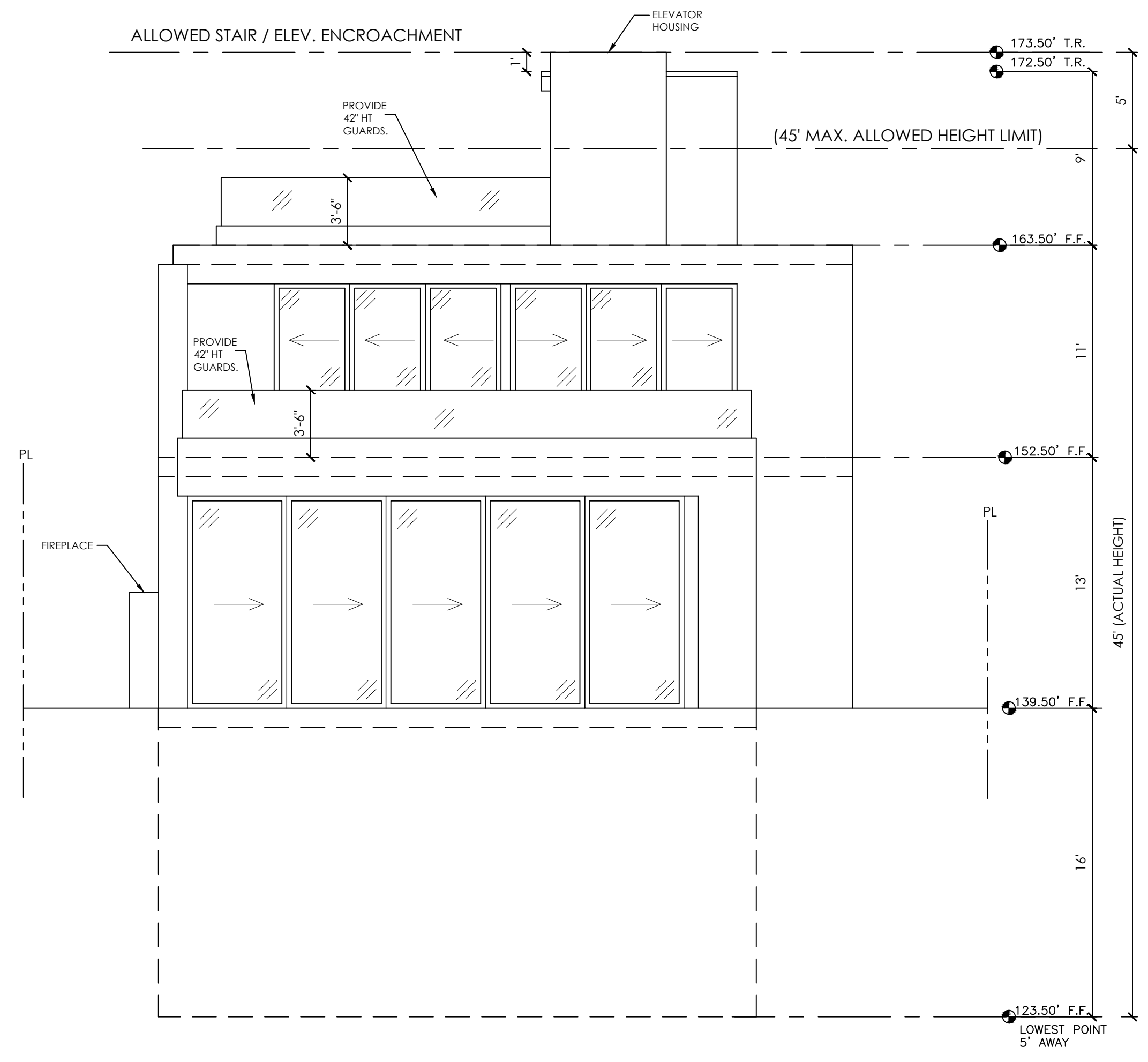
DRAWING TITLE
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| PROJECT | SHEET |
| DATE | A6.1 |
| SCALE | DRAWN BY: |
| 3/16"=1'-0" | P.A. |



NORTH ELEVATION

3/16" = 1'-0"



EAST ELEVATION

3/16" = 1'-0"



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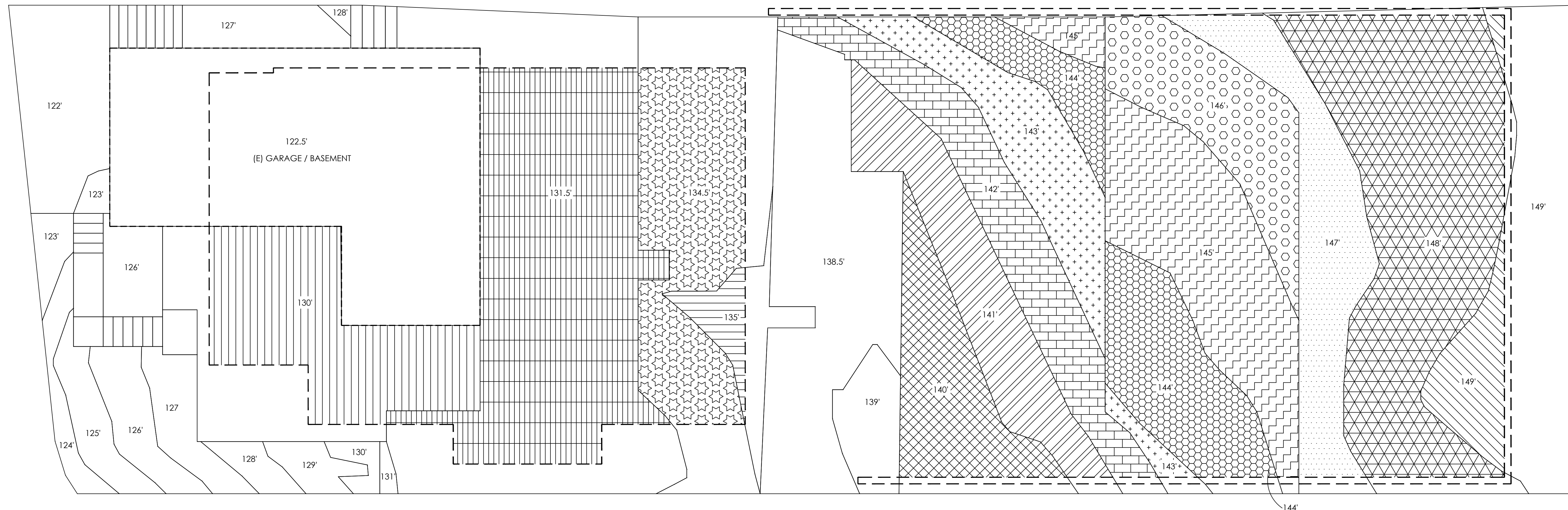
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PROJECT
7346 S. RINDGE AVE.
PLAYA DEL REY, CA 90293

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DRAWING TITLE
GRADING PLAN

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| PROJECT | SHEET |
| DATE | G-1 |
| SCALE | DRAWN BY: |
| 3/16"=1'-0" | P.A. |



GRADING PLAN (EXCAVATION)

3/16" = 1'-0"



A. GENERAL NOTES

- | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ol style="list-style-type: none"> 1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE. 2. ALL DETAILS AND NOTES ON RECORD DRAWINGS BY THE ARCHITECT AND ENGINEER ARE TO FOR ALL PERMANENT WORK. 3. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF INDUSTRIAL SAFETY DIVISION OF THE STATE OF CALIFORNIA AND OF THE LOCAL BUILDING CODE. 4. SOIL ENGINEER SHALL REVIEW THE SHORING DESIGN AND INSTALLATION OF THE SHORING SHALL BE PERFORMED UNDER THE CONTINUOUS INSPECTION AND APPROVAL OF THE SOILS ENGINEER. 5. REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON GRADING AND FOUNDATION EARTHWORK WHERE CUT OR FILL SLOPES EXCEEDS 2:1. 6. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITY LINES PRIOR TO EXCAVATING 7. AN UNDERGROUND SERVICE ALERT INQUIRY IDENTIFICATION NUMBER MUST BE OBTAIN AT LEAST TWO WORKING DAYS BEFORE START WORK WITH THIS PERMIT. TELEPHONE NO.(800)422-4133. 8. NO EXCAVATION OR GRADING SHALL COMMENCE UNTIL 30 DAYS AFTER THE NOTICE REQUIRED BY THE LOS ANGELES CITY BUILDING CODE HAS BEEN POSTED ON THE SITE. 9. CONTRACTOR SHALL COORDINATE SHORING WITH DRAWINGS OF RECORD TO ENSURE PROVISIONS FOR POCKETS, BLOCK OUTS, OFFSETS, STEPPED FOTINGS, AND ANY OTHER ITEMS AFFECTED BY THE SHORING. 10. DRAINAGE AND WATERPROOFING BY OTHERS. | <ol style="list-style-type: none"> 11. CONTINUOUS INSPECTION BY THE SOILS ENGINEER/GEOLOGIST IS REQUIRED FOR EXCAVATION/SHORING INSTALLATION. 12. TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 15. OBTAIN GRADING INSPECTOR'S AND DEPARTMENT OF PUBLIC WORKS APPROVAL OF PROPOSED PROCEDURES. 13. HEAVY EQUIPMENT OR CRANES SHALL NOT BE LOCATED ADJACENT TO THE SHORING BULKHEAD EXCEPT WHERE SPECIFICALLY PROVIDED BY THE DESIGN. 14. NO GRADING PERMIT CAN BE ISSUED PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS WHEN THE SITE IS LOCATED WITHIN AREA DESIGNATED AS GRADING HILLSIDE. 15. RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER THE CONSTRUCTION OF WALL AND THE NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER. 16. RETAINING WALLS LOCATED WITHIN SIDE YARDS SHALL NOT EXCEED 6'-FT. PER ZONING CODE. |
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| EXCAVATION | | | | |
|------------|--------|-------------|-------|-------------|
| PATTERN | AREA | SIZE (S.F.) | DEPTH | CUBIC YARDS |
| [Pattern] | 130' | 331 S.F. | 6.5' | 2,151.5 |
| [Pattern] | 131.5' | 663 S.F. | 8' | 5,064 |
| [Pattern] | 134.5' | 331 S.F. | 11' | 3,641 |
| [Pattern] | 135' | 42 S.F. | 11.5' | 483 |
| [Pattern] | 140' | 208 S.F. | 0.5' | 104 |
| [Pattern] | 141' | 262 S.F. | 1.5' | 393 |
| [Pattern] | 142' | 271 S.F. | 2.5' | 677.5 |
| [Pattern] | 143' | 229 S.F. | 3.5' | 801.5 |
| [Pattern] | 144' | 314 S.F. | 4.5' | 1,413 |
| [Pattern] | 145' | 384 S.F. | 5.5' | 2,112 |
| [Pattern] | 146' | 231 S.F. | 6.5' | 1,501.5 |
| [Pattern] | 147' | 272 S.F. | 7.5' | 2,040 |
| [Pattern] | 148' | 652 S.F. | 8.5' | 5,542 |
| [Pattern] | 149' | 106 S.F. | 9.5' | 1,007 |

TOTAL EXCAVATION: 26,931 / 27 = 997.44 C.Y.



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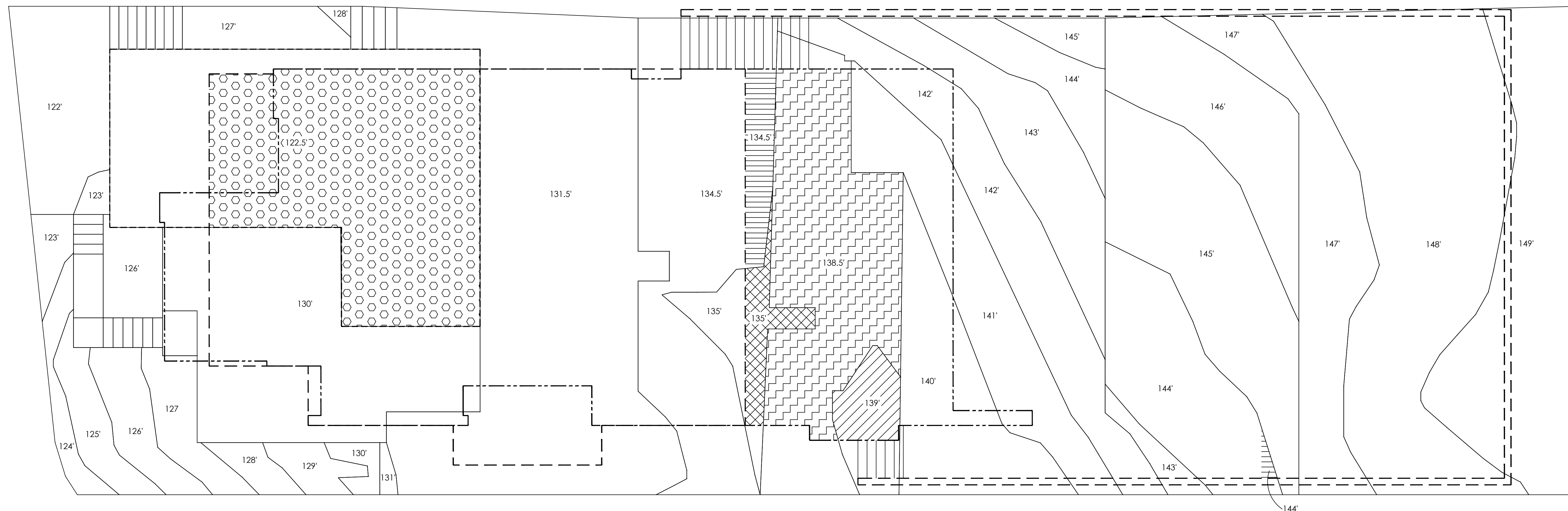
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PROJECT
7346 S. RINDGE AVE.
PLAYA DEL REY , CA 90293

DRAWING TITLE
GRADING PLAN

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| PROJECT | SHEET |
| DATE | G-2 |
| SCALE | DRAWN BY: |
| 3/16"=1'-0" | P.A. |



GRADING PLAN (FILL)

3/16" = 1'-0"

| FILL | | | | |
|-------------|--------|-------------|------------|-------------------------|
| PATTERN | AREA | SIZE (S.F.) | FILL DEPTH | CUBIC YARDS |
| | 122.5' | 574 S.F. | 1' | 574 |
| | 134.5' | 54 S.F. | 5' | 270 |
| | 135' | 47 S.F. | 4.5' | 211.5 |
| | 135.5' | 377 S.F. | 4' | 1,508 |
| | 139' | 49 S.F. | 0.5' | 24.5 |
| TOTAL FILL: | | | | 2,588 / 27 = 95.88 C.Y. |



B. GRADING NOTES

- GRADED SLOPES ARE LIMITED TO A MAXIMUM SLOPE OF 2:1.
ALL GRADING SLOPES SHALL BE PLANTED AND SPRINKLERED.
- STANDARD 12 INCH BERM IS REQUIRED AT THE TOP OF ALL GRADED SLOPES
- NO FILL TO BE PLACED UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.
- MAN-MADE FILL SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90% MAX. DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE AND 93% MAX. DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90% OF MAX. DRY DENSITY) IS JUSTIFIED BY THE SOILS ENGINEER.
- TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 15. OBTAIN GRADING INSPECTOR'S AND DEPARTMENT OF PUBLIC WORKS APPROVAL OF PROPOSED PROCEDURES. [>200 CY] (7007.1)