

PROJECT ADDRESS 202 WEST MANCHESTER AVE, PLAYA DEL REY, CA 90293

PROJECT DESCRIPTION: 4-STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE

LOT: 38
TRACT: PLAYA DEL REY TOWNSITE
ASSESSOR'S PARCEL NUMBER: 4116028014
LEGAL DESCRIPTION: LOT 38 OF TRACT PLAYA DEL REY TOWNSITE PER MAP RECORDED IN BOOK - PAGES - OF MAPS IN THE OFFICE OF THE COUNTY RECORDER IN SAID COUNTY.

ZONE: R-1
VHFHSZ: NO

HEIGHT LIMIT: 45' - 0"
PROPOSED HEIGHT: 43' - 10"

LOT SIZE: 6,357 SF
CONSTRUCTION TYPE: V-B

BEDROOM: 4
REQUIRED PARKING: 2 PARKING STALLS
PROVIDED PARKING: 2 COVERED PARKING STALLS
 4 EXPOSED PARKING STALLS

SPRINKLERS: YES

*RESIDENCE SHALL BE CONSTRUCTED WITH AN APPROVED FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA-13R.

LOT WIDTH: 49' - 0"
LOT DEPTH: 129' - 9"

SETBACKS:	REQUIRED	PROVIDED
FRONT YARD:	5' - 8"	6' - 3"
SIDE YARD:	7' - 0"	7' - 0"
REAR YARD:	7' - 0"	7' - 0"
REAR YARD:	15' - 5"	15' - 5"

RETAINING WALLS:
 1 RETAINING WALL: 66' - 4" LF (MAX HEIGHT 10'-0")

LOT COVERAGE CALCULATION:
 LOT SIZE: 6,357 SF
 MAXIMUM ALLOWABLE COVERAGE = 40% OF 6,357 SF LOT SIZE = 2,543 SF
 LOT COVERAGE OF RESIDENCE = 2,419 SF
2,419 SF (38%) < 2,543 SF MAX LOT COVERAGE (40%)
LOT COVERAGE COMPLIES (UNDER BY 124 SF)

ZONING CODE FLOOR AREA CALCULATION:
 MAXIMUM ALLOWABLE FLOOR AREA = 3,808 SF (BUILDABLE AREA) x 3 = 11,424 SF

ACTUAL FLOOR AREA

LEVEL 0:	1,429 SF INTERIOR FLOOR AREA = 1,429 SF
LEVEL 1:	1,302 SF (INTERIOR FLOOR AREA) + 97 SF (COVERED EXT) = 1,399 SF
LEVEL 2:	1,665 SF (INTERIOR FLOOR AREA) + 370 SF (COVERED EXT) = 2,035 SF
LEVEL 3:	986 SF (INTERIOR FLOOR AREA) = 986 SF
TOTAL SF:	5,849 SF

PROPOSED FLOOR AREA COMPLIES (5,849 SF < 11,424 SF MAXIMUM ALLOWABLE FLOOR AREA)

LAUSD ASSESSABLE AREA CALCULATION (HABITABLE AREA):

LEVEL 0:	1,640 SF
LEVEL 1:	1,867 SF
LEVEL 2:	2,321 SF
LEVEL 3:	1,196 SF
TOTAL:	6,824 SF

BUILDING CODE R1 & U OCCUPANCY:

R1 OCCUPANCY
 LEVEL 0: 584 SF
 LEVEL 1: 1,448 SF
 LEVEL 2: 1,804 SF
 LEVEL 3: 1,115 SF
 COVERED EXTERIOR: 467 SF
TOTAL: 5,818 SF

U OCCUPANCY
 LEVEL 0: 590 SF GARAGE + 565 SF POOL EQUIP/STORAGE = 1,065 SF
 LEVEL 1: 0 SF
 LEVEL 2: 0 SF
 LEVEL 3: 0 SF
 COVERED DRIVEWAY: 495 SF
TOTAL: 1,560 SF

APPLICABLE CODES:
 CBC/CRC 2017 CITY OF LOS ANGELES (INCLUDING APPLICABLE LA CITY AMENDMENTS)
 2017 ENERGY EFFICIENCY STANDARDS
 2017 CITY OF LOS ANGELES GREEN BUILDING

SUBMITTALS UNDER A SEPARATE APPLICATION AND PERMIT

SHORING
 RETAINING WALLS OVER 6 FEET IN HEIGHT
GRADING
 SWIMMING POOLS
 ELEVATOR

ARCHITECTURAL
 A0.01 TITLE SHEET

A0.10 DOOR SCHEDULE - EXTERIOR
 A0.13 DOOR SCHEDULE - INTERIOR
 A0.16 WINDOW SCHEDULE

A0.40 TOPOGRAPHIC SURVEY
 A0.41 PREVAILING SETBACK SURVEY

A0.50 ZONING CODE FLOOR AREA
 A0.51 LOT COVERAGE

A0.70 TITLE 24
 A0.71 TITLE 24

A1.00 DEMOLITION SITE PLAN
 A1.01 OVERALL SITE PLAN
 A1.50 SITE SECTIONS - LONGITUDINAL
 A1.51 SITE SECTIONS - LONGITUDINAL
 A1.52 SITE SECTIONS - CROSS
 A1.53 SITE SECTIONS - CROSS
 A1.54 SITE SECTIONS - CROSS

A2.20 FLOOR PLAN - LEVEL 0
 A2.21 FLOOR PLAN - LEVEL 1
 A2.22 FLOOR PLAN - LEVEL 2
 A2.23 FLOOR PLAN - LEVEL 3
 A2.24 ROOF PLAN

A3.01 EXTERIOR ELEVATIONS
 A3.02 EXTERIOR ELEVATIONS

A4.01 BUILDING SECTIONS - LONGITUDINAL
 A4.02 BUILDING SECTIONS - LONGITUDINAL
 A4.12 BUILDING SECTIONS - CROSS
 A4.13 BUILDING SECTIONS - CROSS

A7.02 POOL PLAN & SECTIONS
 A7.03 POOL SECTIONS

A8.01 VERTICAL CIRCULATION - STAIRS
 A8.02 VERTICAL CIRCULATION - STAIRS
 A8.03 VERTICAL CIRCULATION - STAIRS

VISUALIZATION
 V1.01 AXONOMETRIC - SITE - NE
 V1.02 AXONOMETRIC - SITE - NW
 V1.03 AXONOMETRIC - SITE - SE
 V1.04 AXONOMETRIC - SITE - SW

STRUCTURAL
 S2.00 FOUNDATION PLAN

CIVIL
 C2.10 GRADING PLAN

LANDSCAPE
 L0.0 TITLE SHEET
 L1.0 TREES AND PLANTING DEMOLITION PLANTING PLAN
 L4.0 L4.0 PLANTING PLAN - GROUND FLOOR
 L4.1 PLANTING PLAN - LEVEL 0 AND LEVEL 3
 L4.2 PLANTING DETAILS
 L4.3 PLANTING SPECIFICATIONS
 L4.4 PLANTING SPECIFICATIONS

PROJECT INFORMATION 19

OWNER: ALEX AND LIZNA ISMAIL
 202 WEST MANCHESTER AVENUE, PLAYA DEL REY, CA, 90293

PERMIT CONSULTANT: CREST REAL ESTATE
 11150 W. OLYMPIC BLVD, SUITE 700
 LOS ANGELES, CA 90064
 323.717.8032

STRUCTURAL ENGINEER: LABIB FUNK + ASSOCIATES
 319 MAIN STREET
 EL SEGUNDO, CA 90245
 213.239.9700

CIVIL ENGINEER: LABIB FUNK + ASSOCIATES
 319 MAIN STREET
 EL SEGUNDO, CA 90245
 213.239.9700

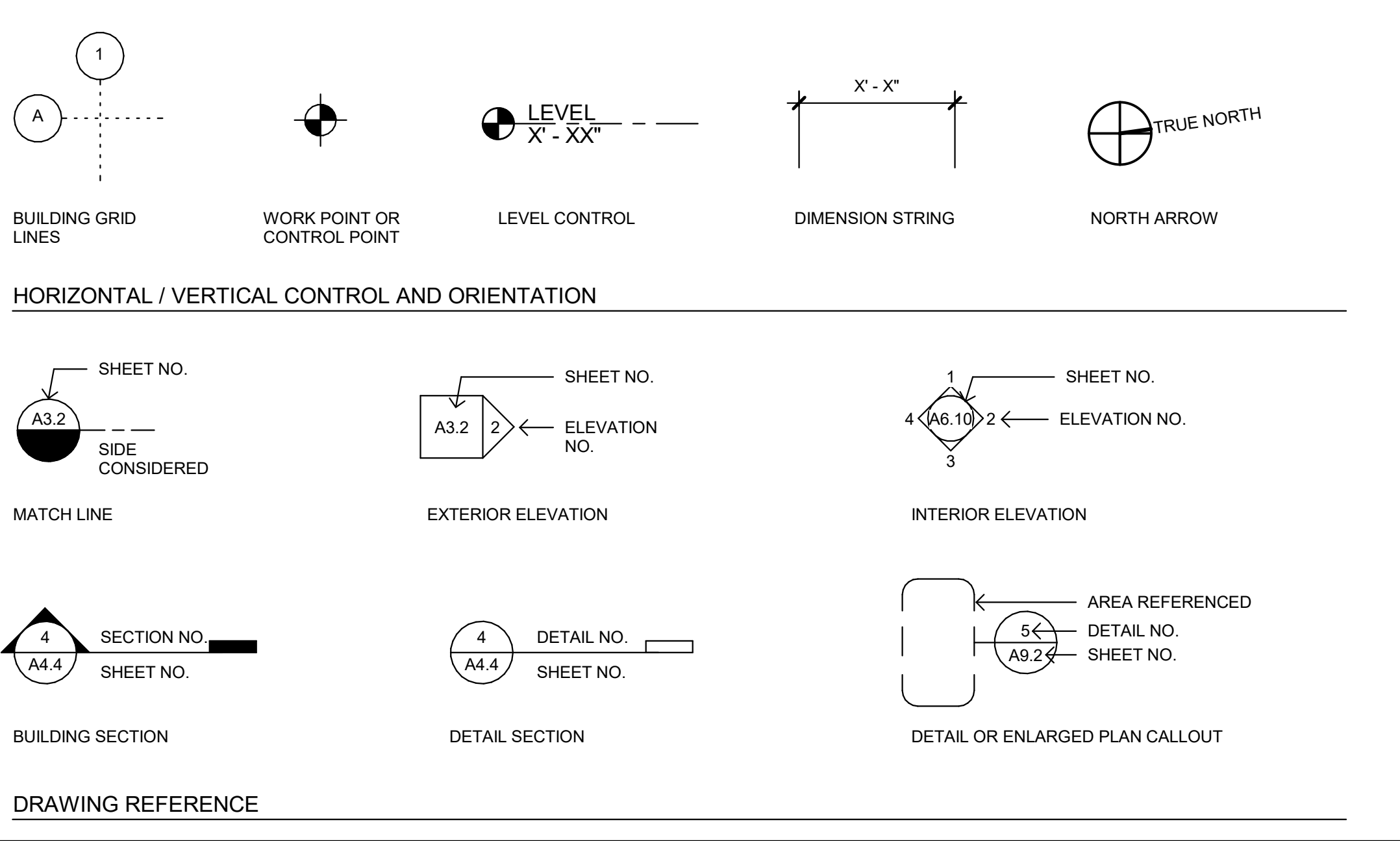
ARCHITECT: WOODS+DANGARAN
 5059 W PICO BLVD
 LOS ANGELES, CA 90019
 323.272.3329

SOILS ENGINEER: GROVER HOLLINGSWORTH & ASSOCIATES, INC.
 31129 VIA COLINAS, SUITE 707
 WESTLAKE VILLAGE, CA 91362

SHORING ENGINEER: LABIB FUNK + ASSOCIATES
 319 MAIN STREET
 EL SEGUNDO, CA 90245
 213.239.9700

LANDSCAPE ARCHITECT: CHRISTOPHER SOSA
 8581 SANTA MONICA BLVD #255
 WEST HOLLYWOOD, CA 90069
 415.310.5770

SHEET INDEX 15



PROJECT DIRECTORY 20

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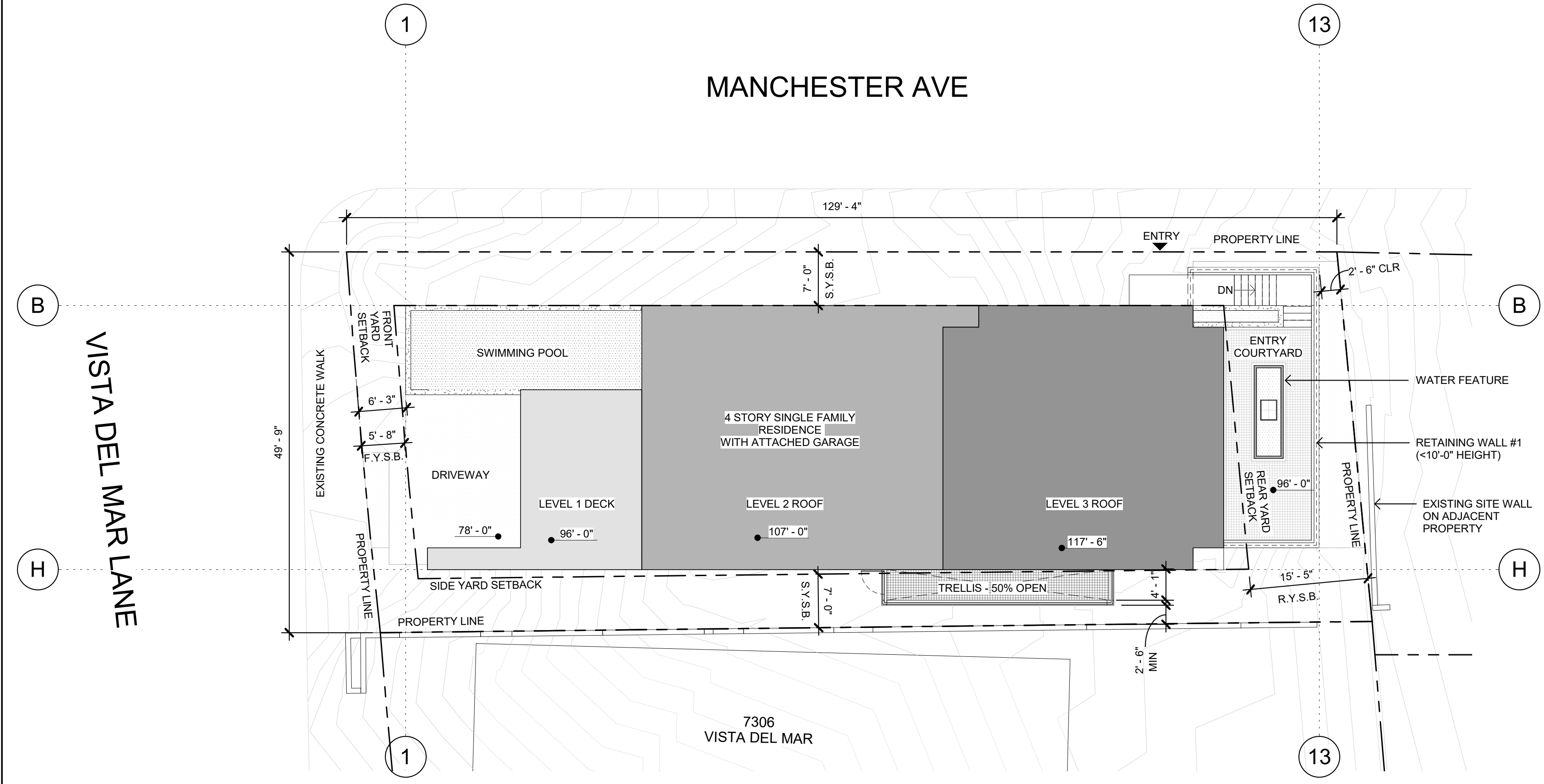
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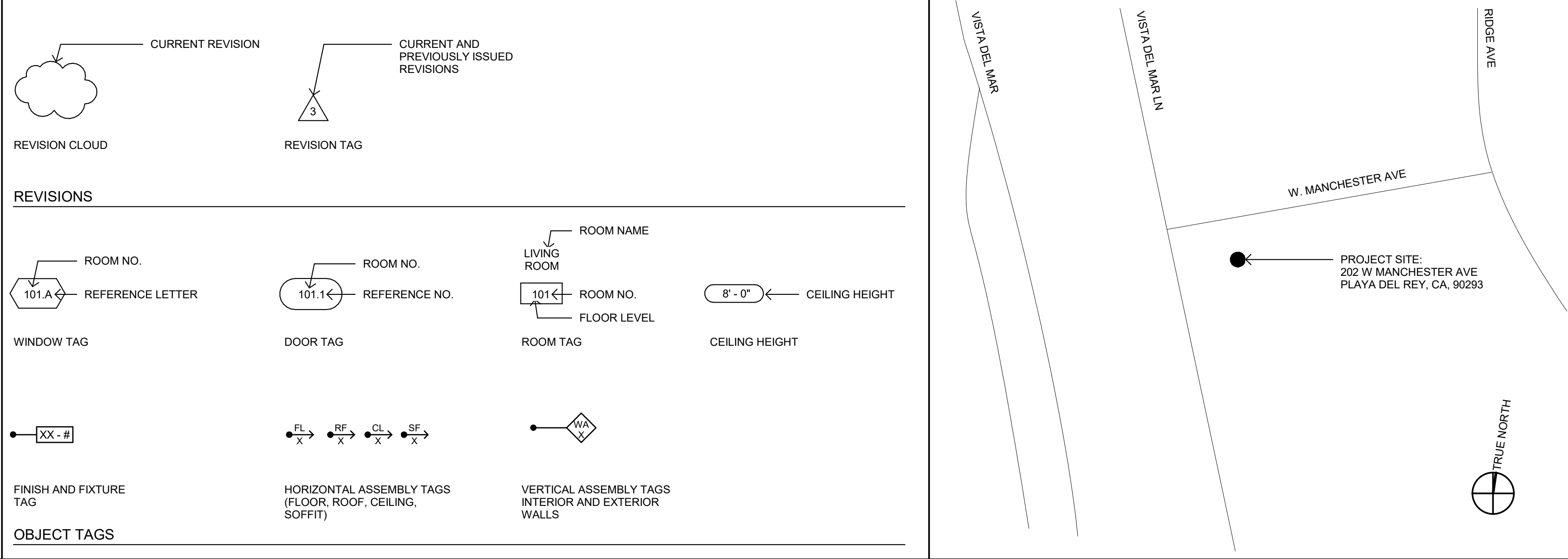
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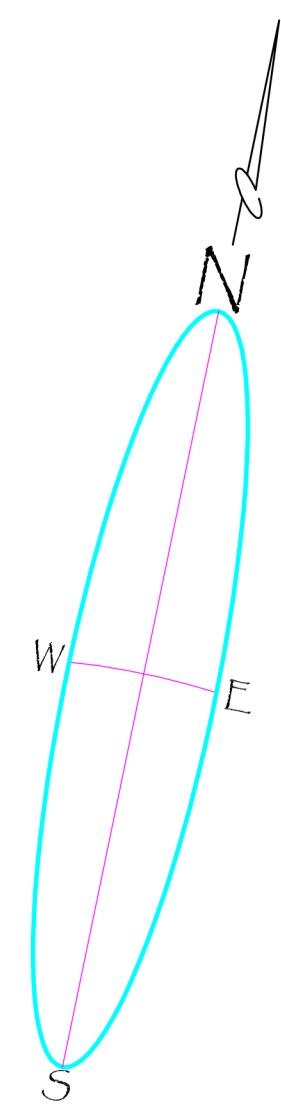
PLOT PLAN 3/32" = 1'-0" 3



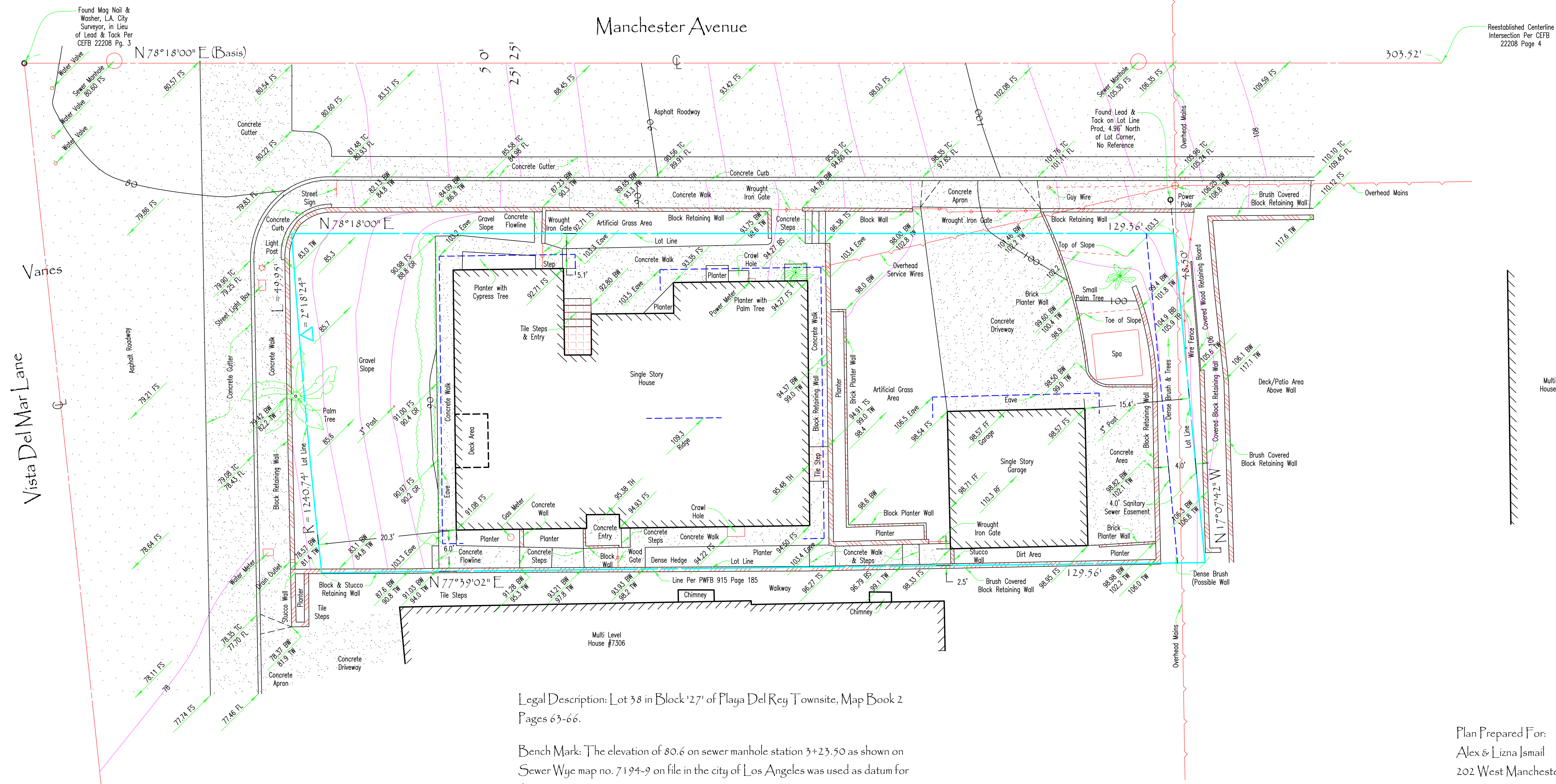
SYMBOLS 8

VICINITY MAP NO SCALE 4

Architectural Survey



Scale 1" = 8'



Legend:

- BS = Bottom of Step
- BW = Bottom of Wall
- FF = Finished Floor
- FL = Flowline
- FS = Finished Surface
- GR = Ground
- RF = Roof
- TC = Top of Curb
- TH = Threshold
- TSS = Top of Step
- TW = Top of Wall

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- Notes: 1. Boundary information is from Tract Map and legal description that was received for this property.
2. Easement is shown per district map and title report that was received for this property.
3. Tree drip lines are not to scale.

Legal Description: Lot 38 in Block 1271 of Playa Del Rey Townsite, Map Book 2 Pages 63-66.

Bench Mark: The elevation of 80.6 on sewer manhole station 3+23.50 as shown on Sewer Wye map no. 7194-9 on file in the city of Los Angeles was used as datum for this survey.

Boundary: Record information adjusted to found city centerline monuments.

Date of Survey: August 12, 2021

Site Address: 202 W. Manchester Avenue, Playa Del Rey

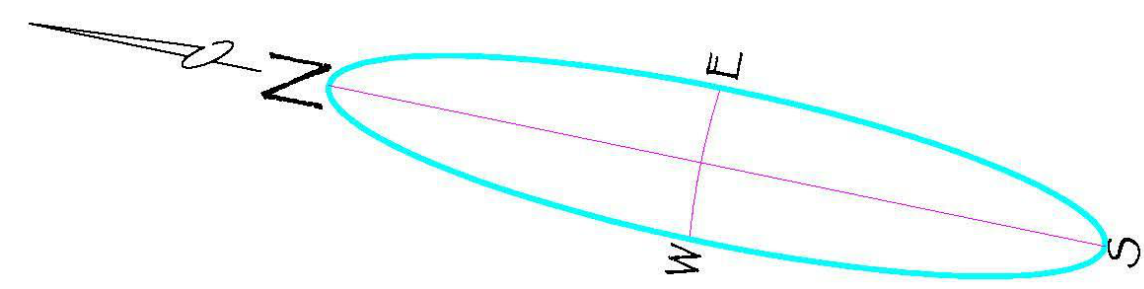
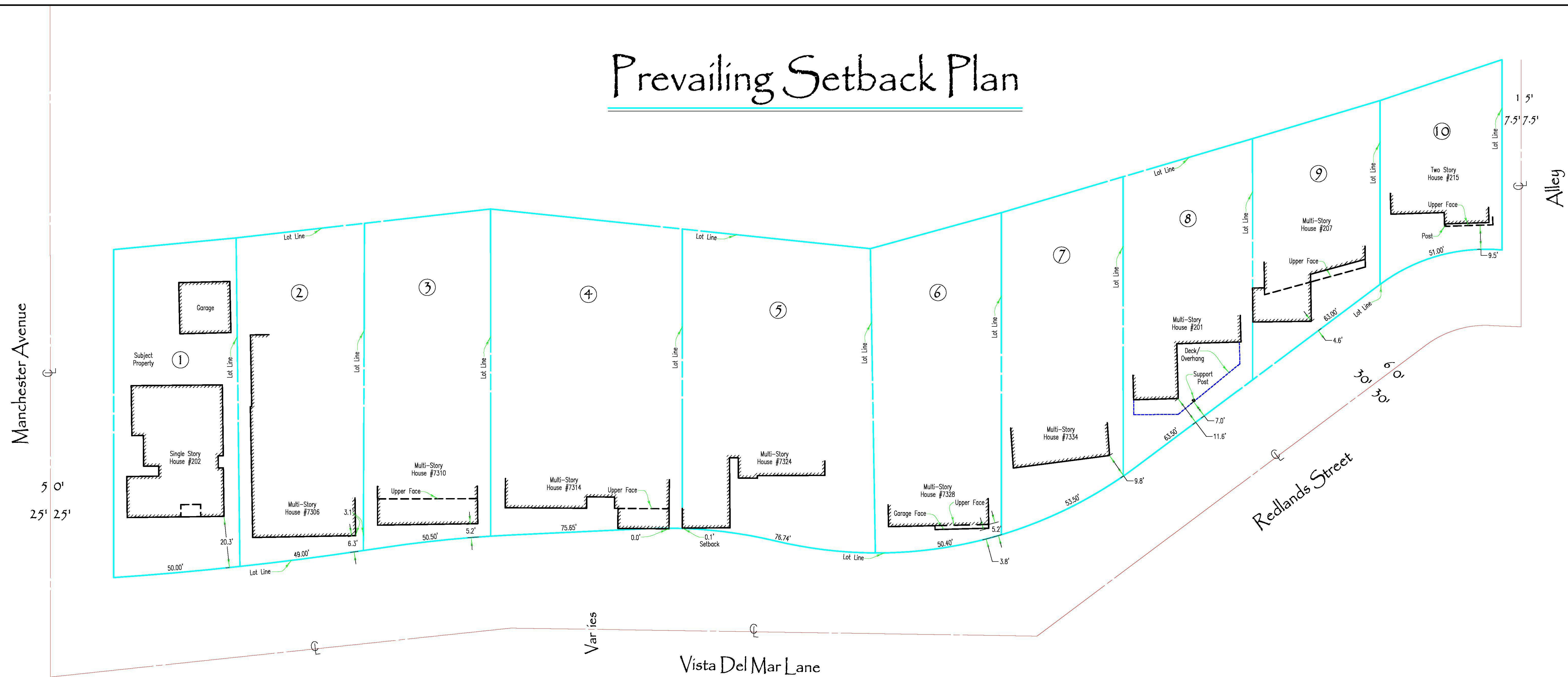
Area: 6,337 square feet, 0.15 acres

Plan Prepared For:
Alex & Liza Ismail
202 West Manchester Ave.
Playa Del Rey, CA 90295

Plan Prepared By:
NorthLakeland Surveying, Inc.
32218 N. Big Oak Lane
Castaic, CA 91384
(661) 775-9130
James Lycklama, LS 7525

Job #080121

Prevailing Setback Plan



Scale 1" = 20'

Boundary Record information adjusted to found city centerline monuments.

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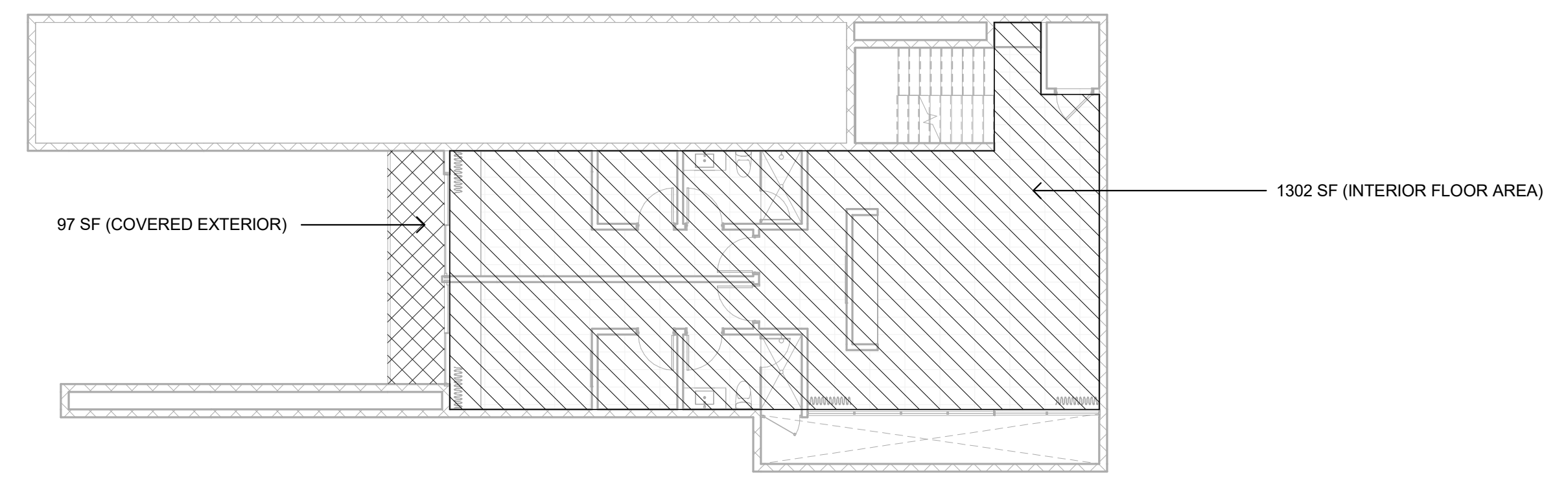
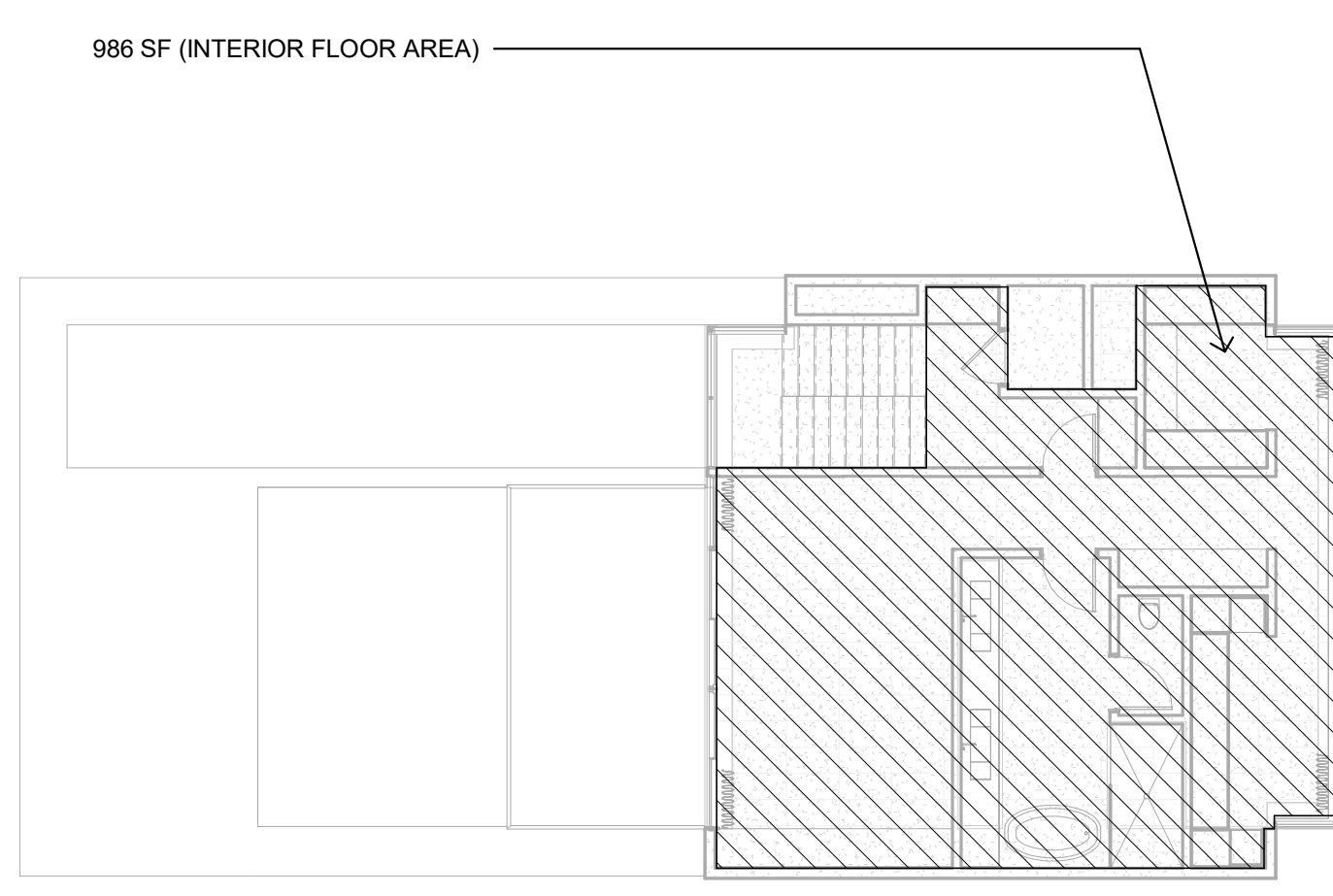
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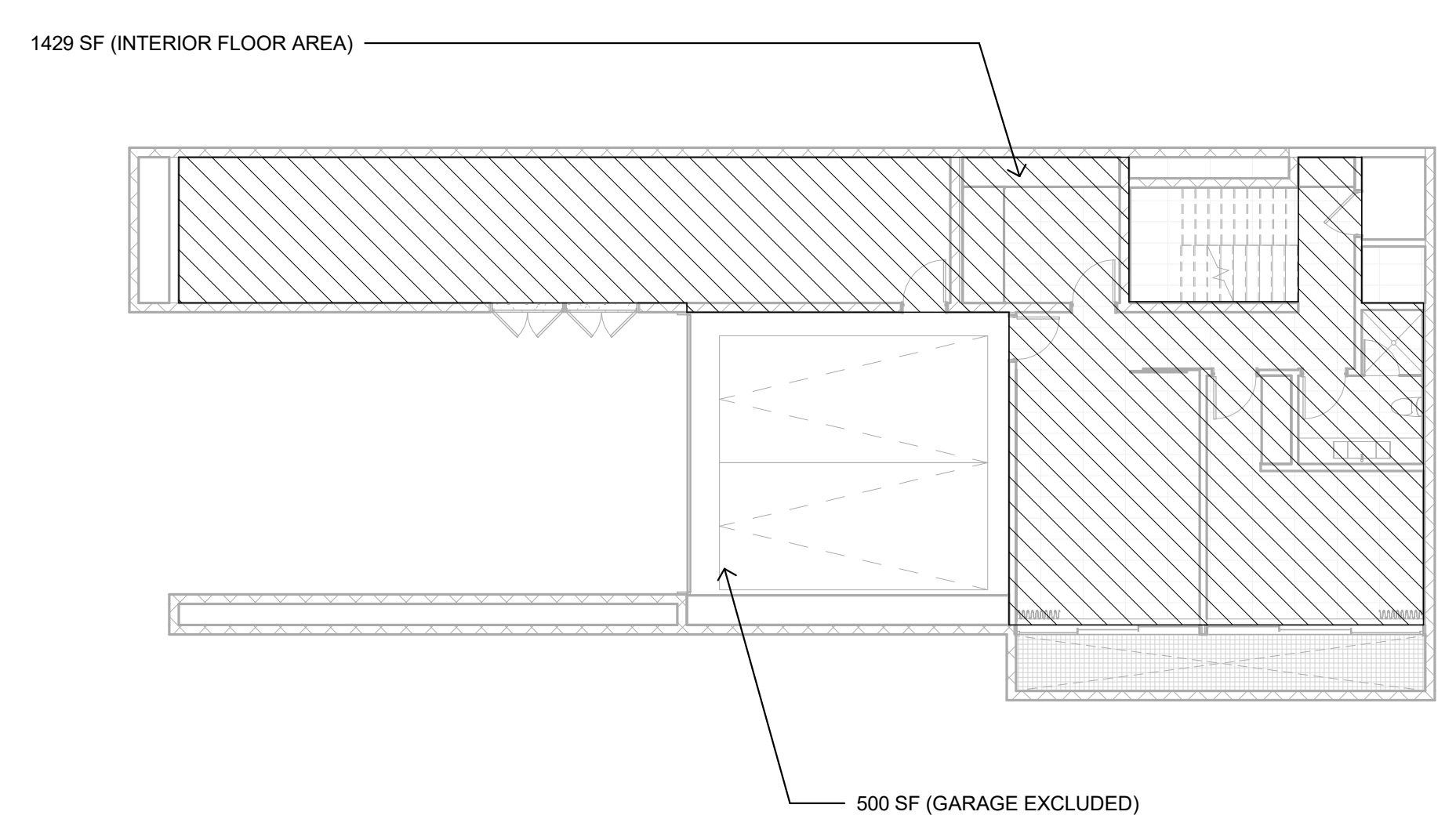
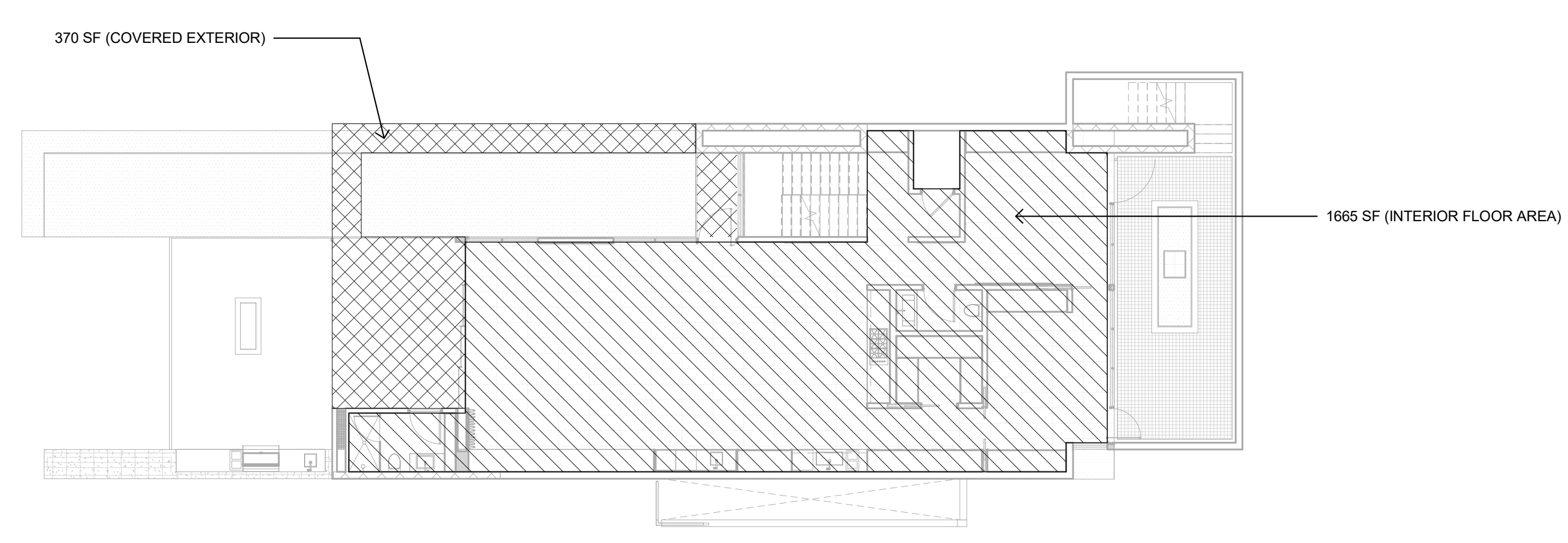
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FLOOR AREA - LEVEL 3
3/32" = 1'-0" 11

FLOOR AREA - LEVEL 1
3/32" = 1'-0" 2



FLOOR AREA - LEVEL 2
3/32" = 1'-0" 13

FLOOR AREA - LEVEL 0
3/32" = 1'-0" 3

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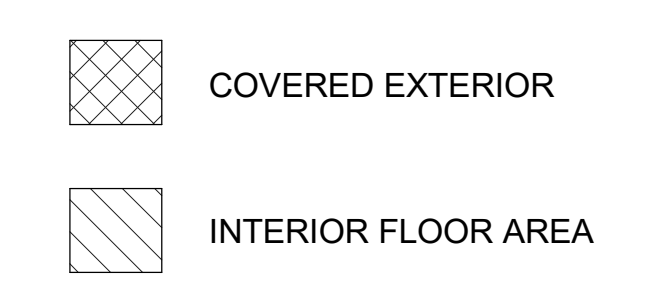
LAUSD ASSESSABLE AREA CALCULATION (HABITABLE AREA):

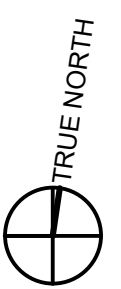
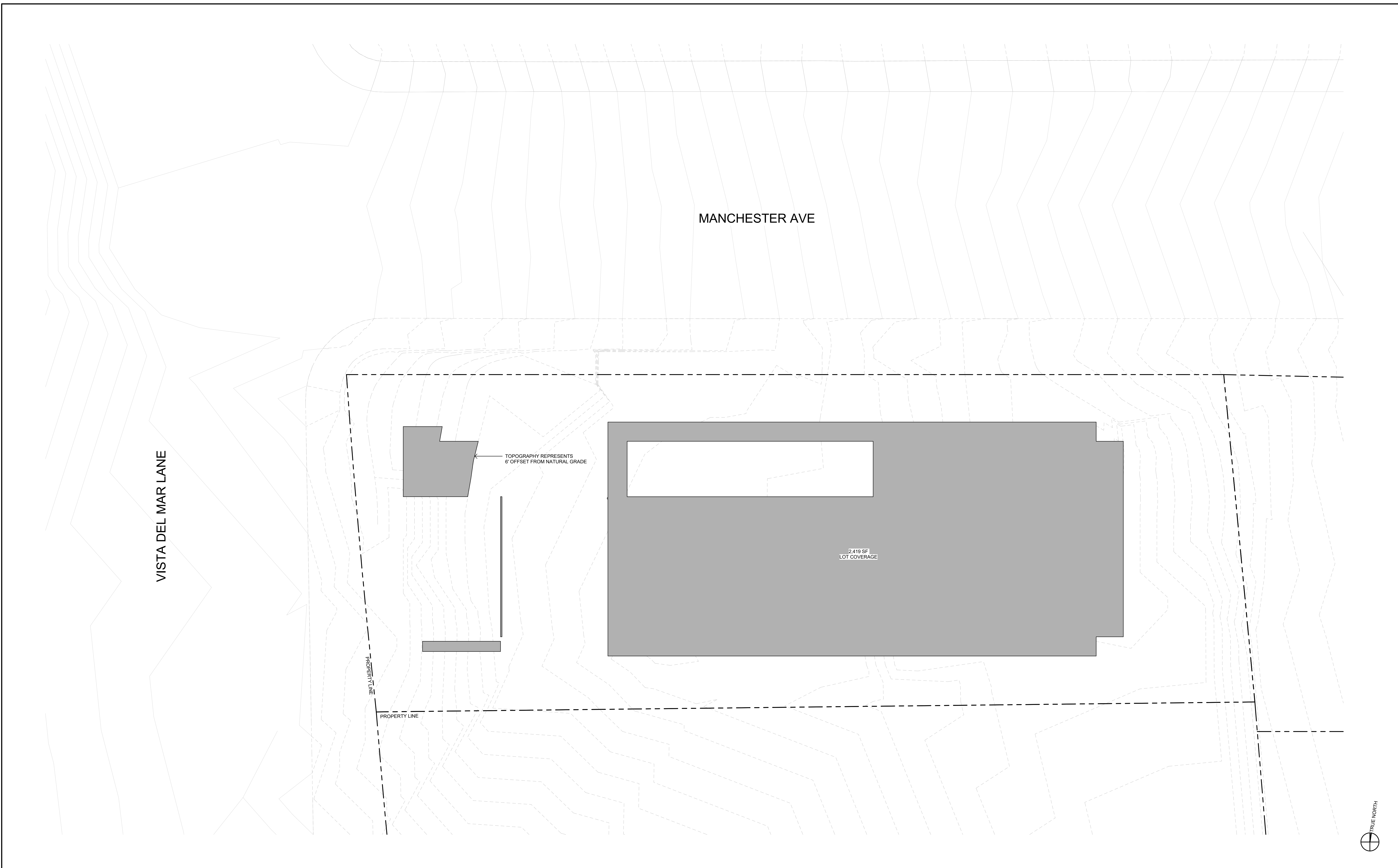
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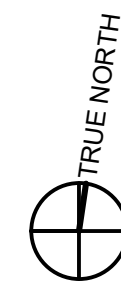
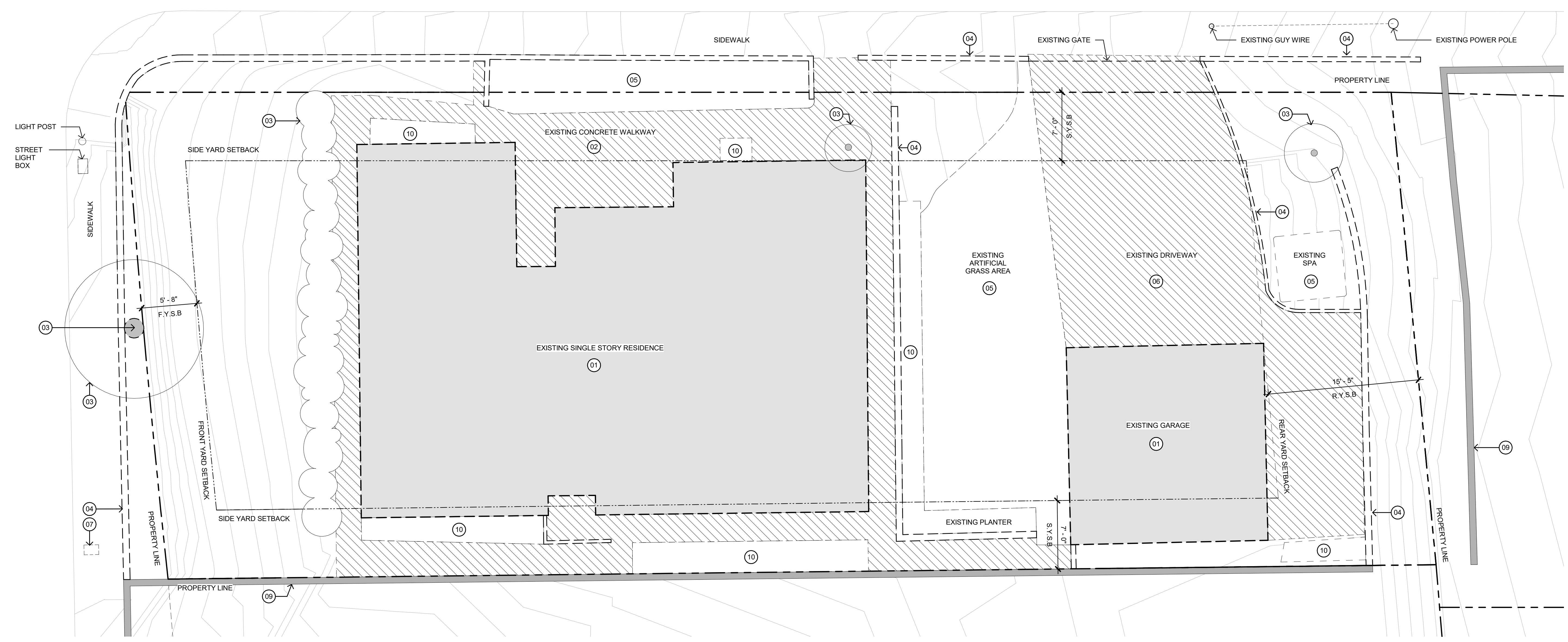


LOT COVERAGE
3/16" = 1'-0" 3

LOT COVERAGE CALCULATION:
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 MAXIMUM ALLOWABLE COVERAGE = 40% OF 6,357 SF LOT SIZE = 2,543 SF
 LOT COVERAGE OF RESIDENCE = 2,419 SF
 2,419 SF (38%) < 2,543 SF MAX LOT COVERAGE (40%)
 LOT COVERAGE COMPLIES (UNDER BY 124 SF)

VISTA DEL MAR LANE

MANCHESTER AVE



DEMOLITION PLAN
3/16" = 1'-0" 3

- 01 EXISTING ONE-STORY RESIDENCE AND COVERED CARPORT TO BE REMOVED
REMOVE ALL FOUNDATION STRUCTURE
REMOVE ALL EXISTING UTILITIES AND CAP PER CURRENT CODE REQUIREMENTS AT STREET CURB
- 02 REMOVE EXISTING DECK, FRAMING AND FOOTINGS
- 03 EXISTING TREE, TRUNK, AND ROOT BALL TO BE REMOVED
- 04 EXISTING SITE WALL TO BE REMOVED
- 05 REMOVE EXISTING LANDSCAPE, LANDSCAPE PATHS, PATH WALLS, IRRIGATION AND LANDSCAPE LIGHTING
REMOVE EXISTING POOLS AND WATER FEATURES
- 06 REMOVE EXISTING DRIVEWAY PAVING.
- 07 LOCATION OF EXISTING WATER METER TO BE VERIFIED. CONTRACTOR TO DETERMINE REMOVAL AND RELOCATION PER PROPOSED PLANS
- 08 LOCATION OF EXISTING GAS METER TO BE VERIFIED. CONTRACTOR TO DETERMINE REMOVAL AND RELOCATION PER PROPOSED PLANS
- 09 EXISTING RETAINING WALL ON ADJACENT PROPERTY TO REMAIN
- 10 EXISTING PLANTER TO BE REMOVED

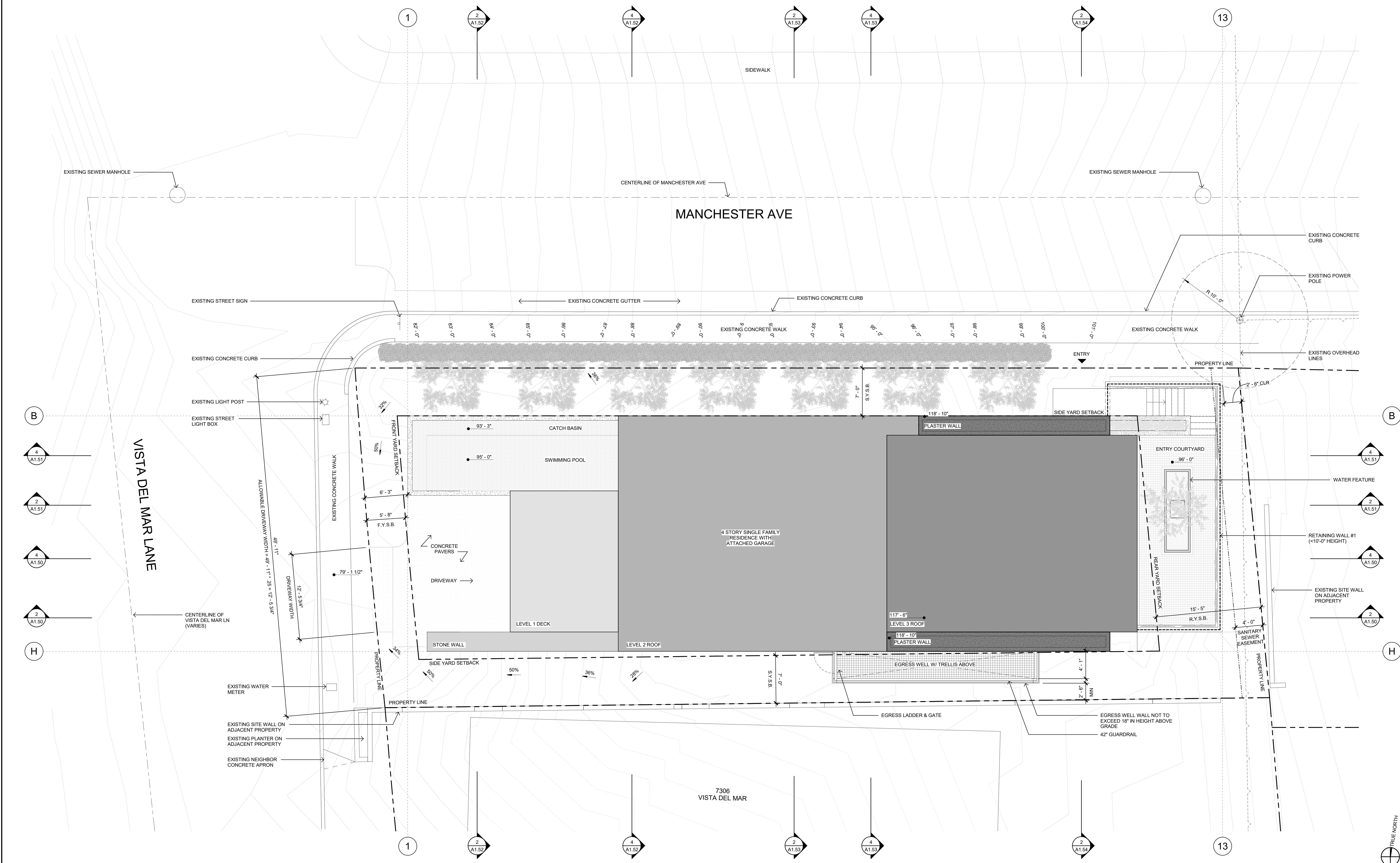
1. ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE BUILDING(S). VERIFY THE EXISTING STATE OF THE BUILDING(S) FINISHES AND BUILDING SYSTEMS.
2. CONTRACTOR TO COORDINATE AND VERIFY ALL DEMOLITION WITH ALL ALTERATION PLANS.
3. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.
4. CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.
5. CONTRACTOR SHALL TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE TO REMAIN. ANY ITEMS THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR RE-USE.
6. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE EXISTING STRUCTURE.
7. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.
8. SEWER SHALL BE CAPPED AND APPROVED (PLUMBING PERMIT REQUIRED), IF THE STRUCTURE IS CONNECTED TO A SEWER, THE SEWER MUST BE CAPPED PRIOR TO THE ISSUANCE OF THE DEMOLITION PERMIT.
9. BUILDINGS OR STRUCTURES SHALL BE CERTIFIED AS BEING FREE FROM ASBESTOS BY A CERTIFIED PERSON OR FIRM PRIOR TO ISSUANCE OF THE DEMOLITION PERMIT. A BUILDING PERMIT IS REQUIRED FOR ASBESTOS REMOVAL.

- EXISTING WALL TO REMAIN
- EXISTING OBJECT TO BE REMOVED
- EXISTING FENCE TO BE REMOVED
- EXISTING RESIDENCE / GARAGE TO BE REMOVED
- EXISTING SITE PAVING / EXTERIOR DECK TO BE REMOVED

KEY NOTES - DEMOLITION PLAN
NO SCALE 12

NOTES - DEMOLITION PLAN
NO SCALE 8

LEGEND - DEMOLITION PLAN
NO SCALE 4



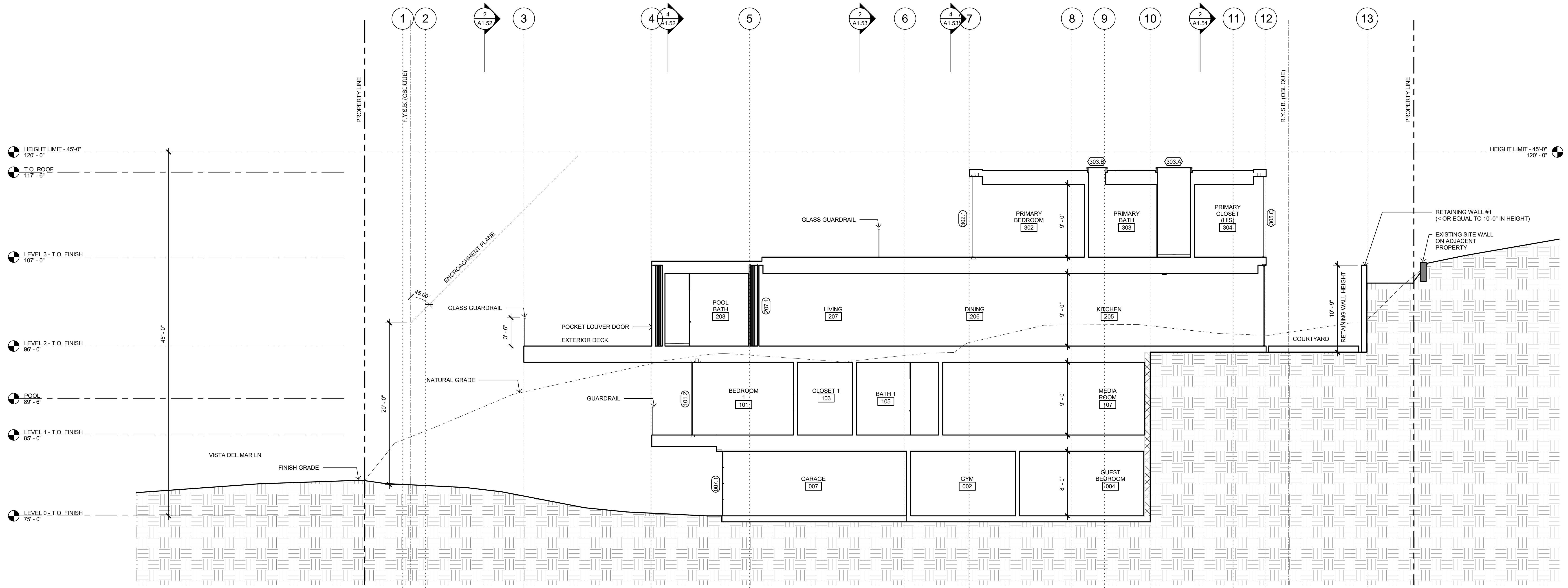
OVERALL SITE PLAN
3/16" = 1'-0"
3

1. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
2. DO NOT SCALE FROM DRAWINGS.
3. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
4. ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING.
5. ALL CASEWORK DIMENSIONS TO FACE OF FINISH.
6. PROVIDE 1.6 GALLONS OF WATER PER FLUSH TOILETS.
7. WATER HEATERS ARE TO BE STRAPPED OR HAVE A RIGID CONNECTION TO AN ADJACENT WALL. (SEC 507.3, UPC)
8. PROVIDE R-12 EXTERIOR BLANKET FOR HOT WATER HEATER, R-3 INSULATION SHALL BE PROVIDED FOR THE FIRST FIVE FEET OF THE WATER HEATER OUTLET PIPE. ALL WATER HEATING AND SPACE CONDITIONING EQUIPMENT, SHOWER HEADS AND FAUCETS SHALL BE C.E.C. CERTIFIED. ALL STEAM AND STEAM CONDENSATE RETURN PIPING AND ALL CONTINUOUSLY RECIRCULATING DOMESTIC HEATING OR HOT WATER PIPING SHALL BE INSULATED PER PLUMBING DIVISION.
9. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION MATERIAL. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHER-STRIPPED.
10. AN APPROVED SEISMIC SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
11. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.
12. CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK.
13. CONTRACTOR TO PROVIDE TEMPORARY POWER POLE AND METER FOR THE DURATION OF THE WORK. CONTRACTOR TO MAINTAIN TEMPORARY LIGHT AS REQUIRED FOR THE DURATION OF THE WORK. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AS TO LEAST IMPACT NEIGHBORS AND AS DIRECTED BY CITY REGULATIONS.

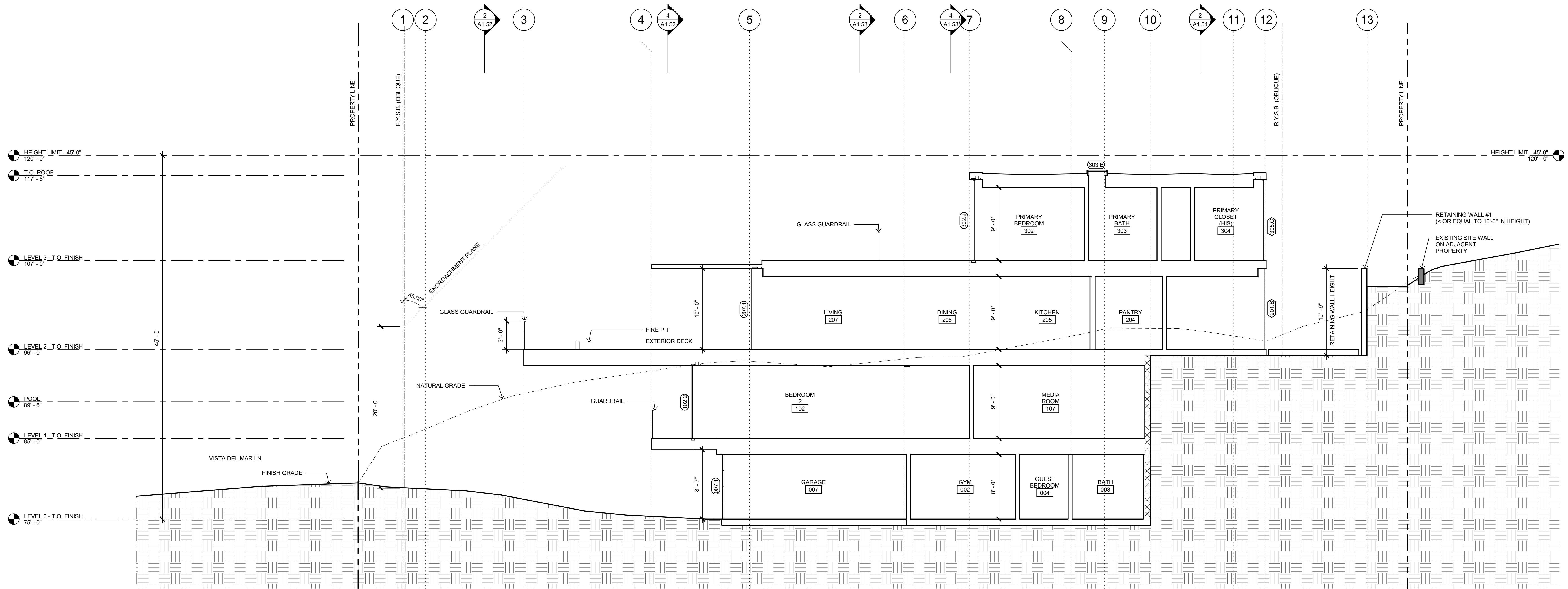
- MASONRY WALL
- CONCRETE WALL
- EXTERIOR PAVING
- PROPERTY LINE
- SETBACK
- EASEMENT
- EDGE OF AVERAGE EXISTING GRADE
- FENCE
- GAS BIB
- HOSE BIB

NOTES - SITE PLAN
NO SCALE 8

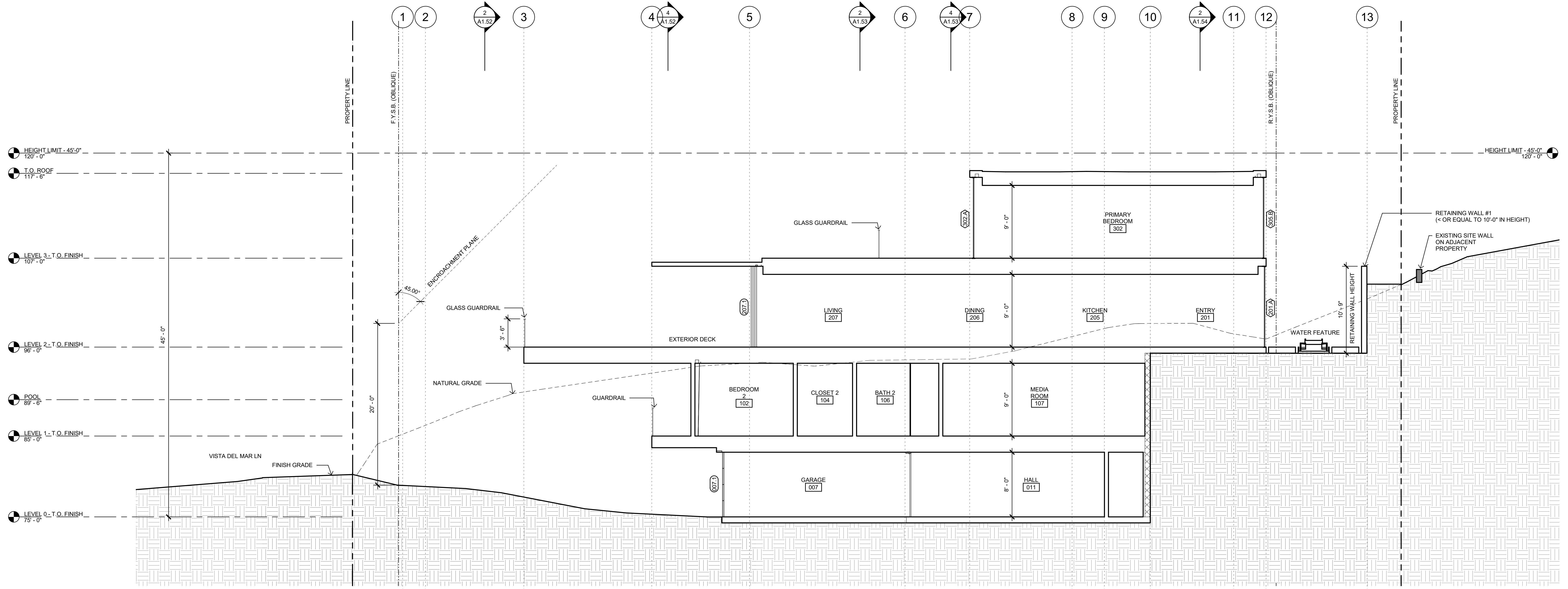
LEGEND - SITE PLAN
NO SCALE 4



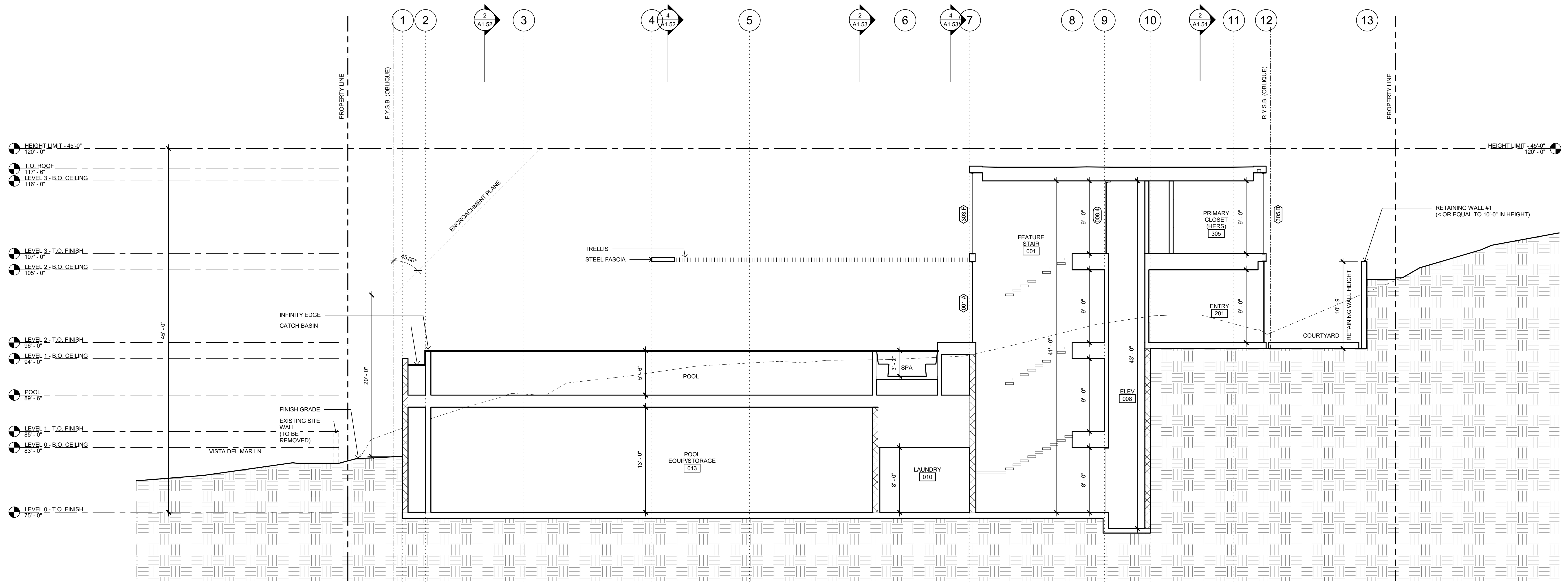
SITE SECTION - LONGITUDINAL - 1
3/16" = 1'-0"



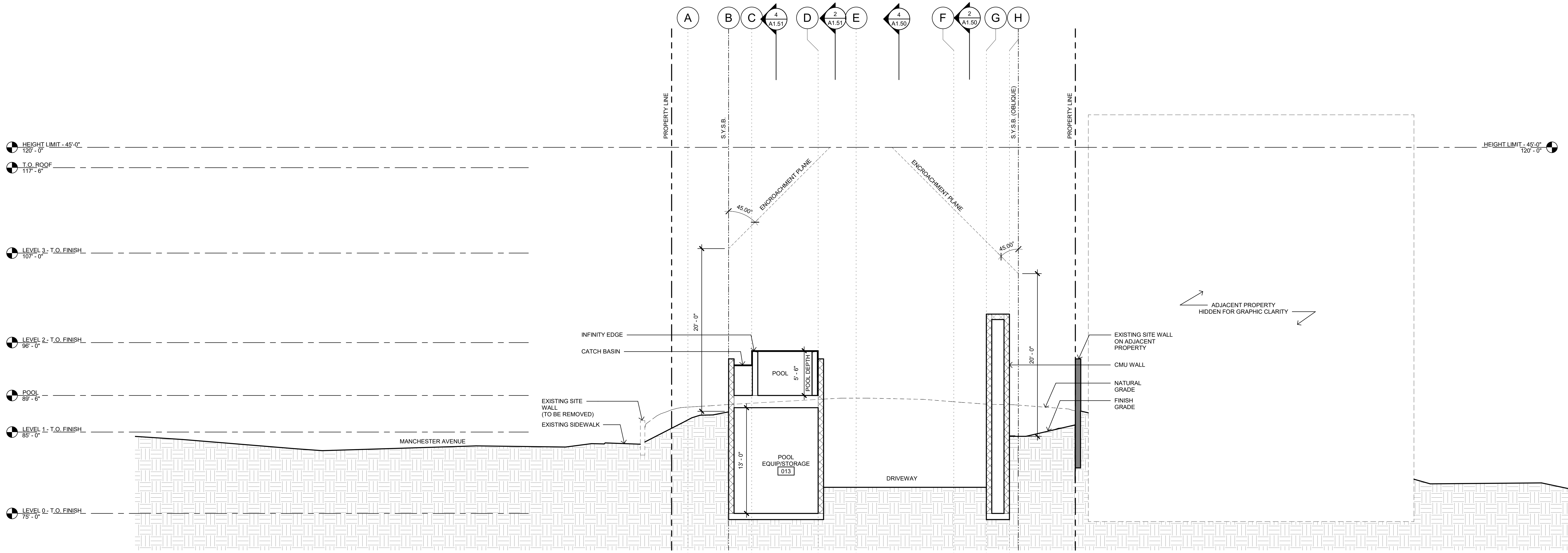
SITE SECTION - LONGITUDINAL - 2
3/16" = 1'-0"



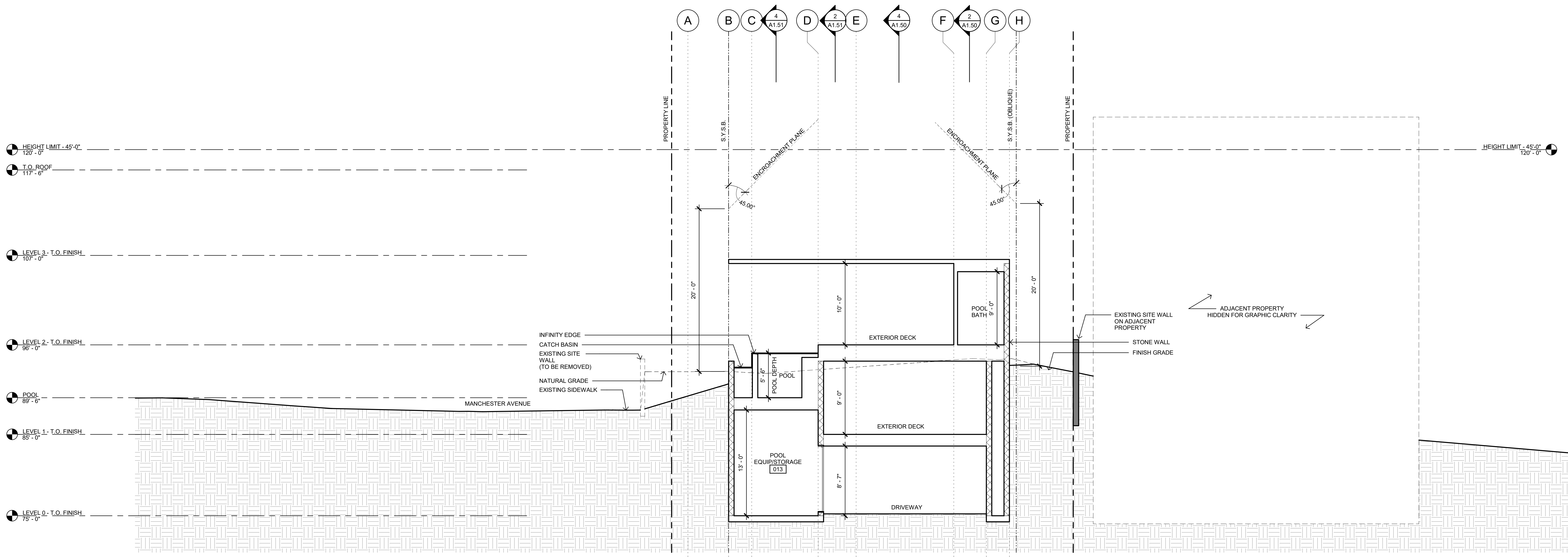
SITE SECTION - LONGITUDINAL - 3
3/16" = 1'-0"



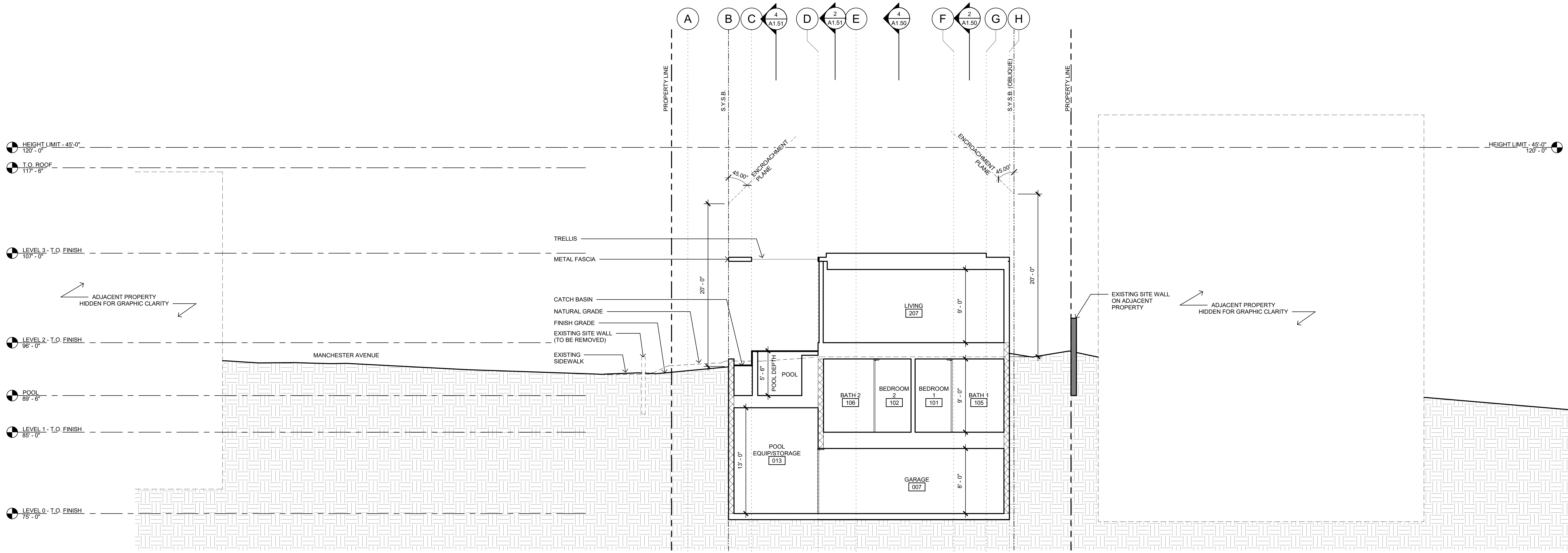
SITE SECTION - LONGITUDINAL - 4
3/16" = 1'-0"



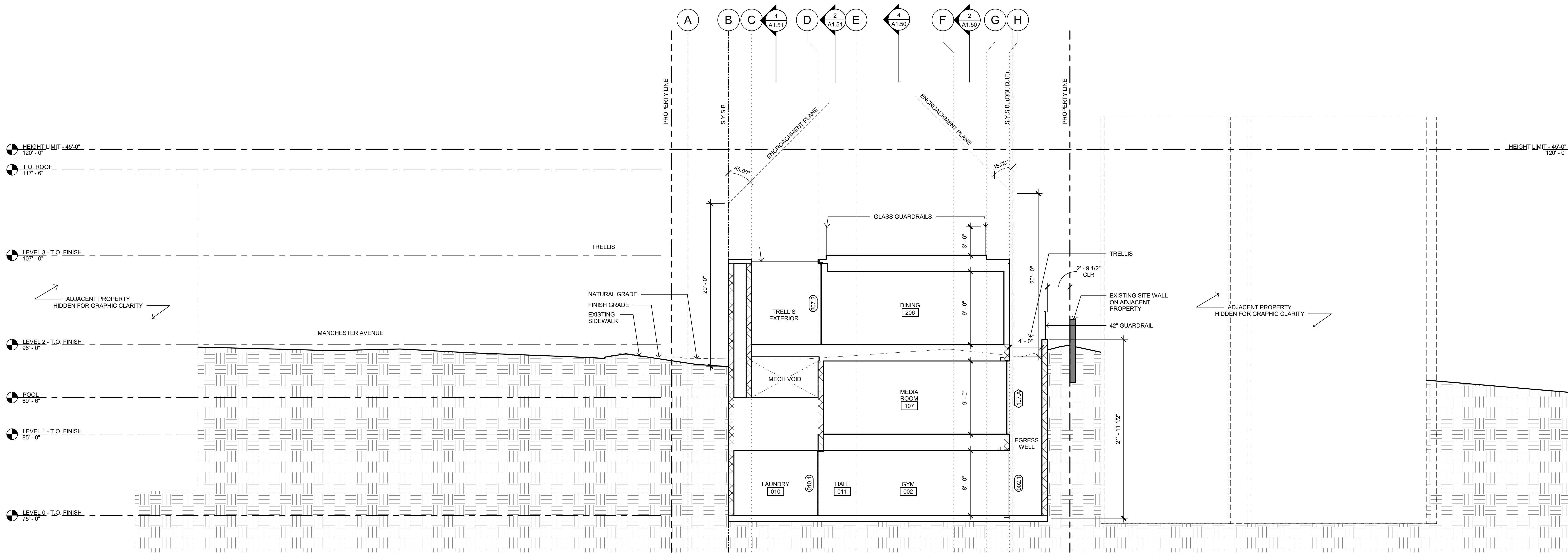
SITE SECTION - CROSS - 1
3/16" = 1'-0"



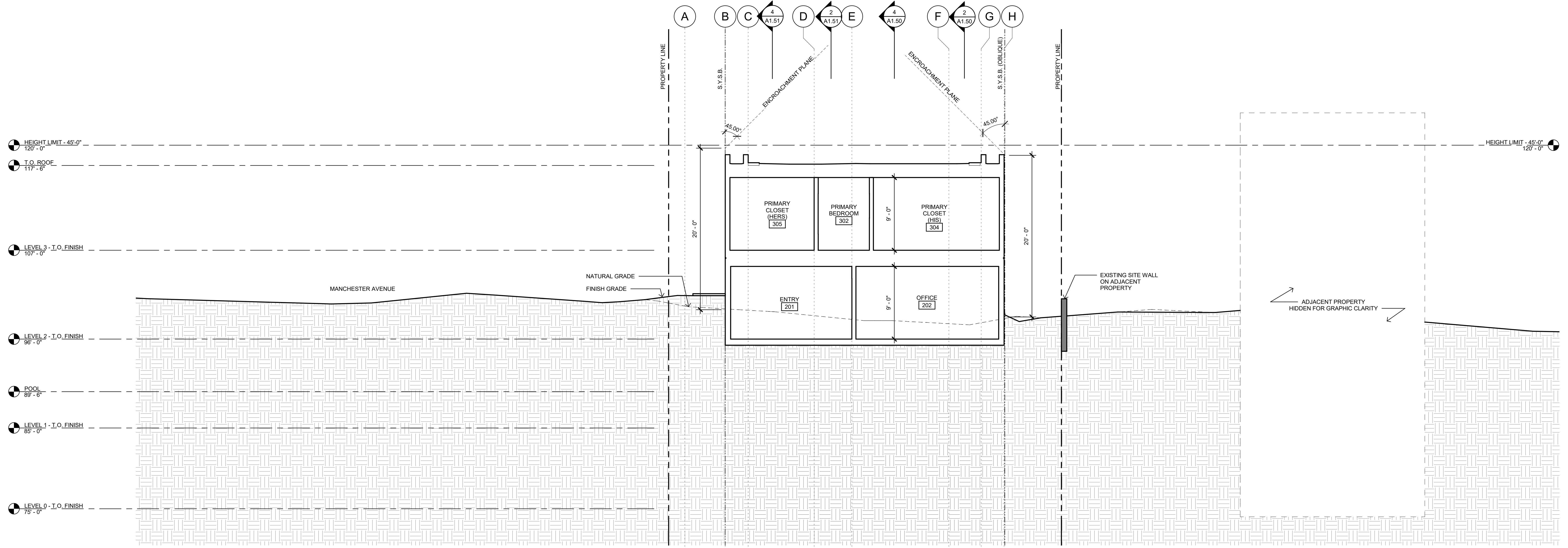
SITE SECTION - CROSS - 2
3/16" = 1'-0"



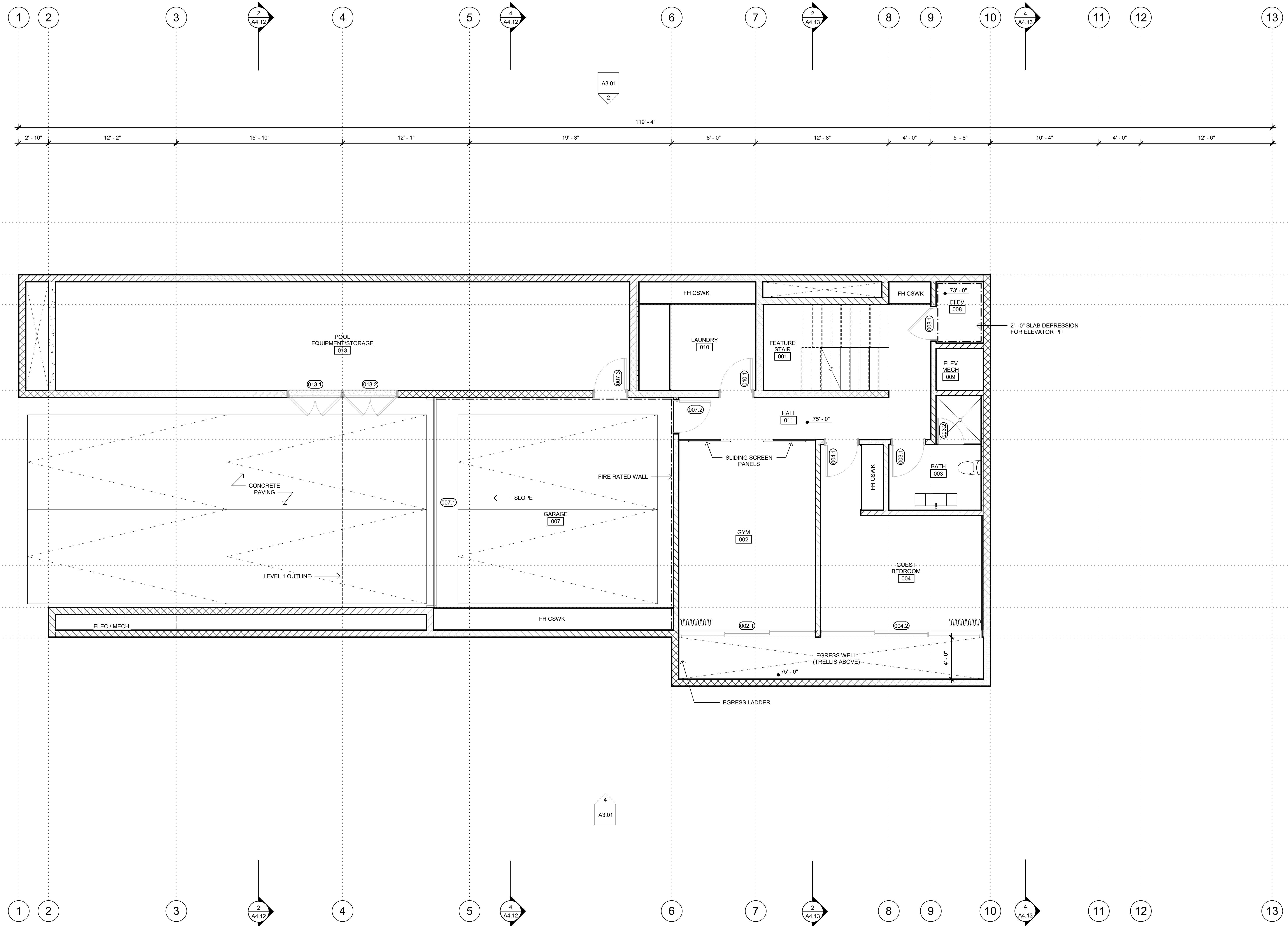
SITE SECTION - CROSS - 3
3/16" = 1'-0"



SITE SECTION - CROSS - 4
3/16" = 1'-0"



SITE SECTION - CROSS - 5
3/16" = 1'-0"

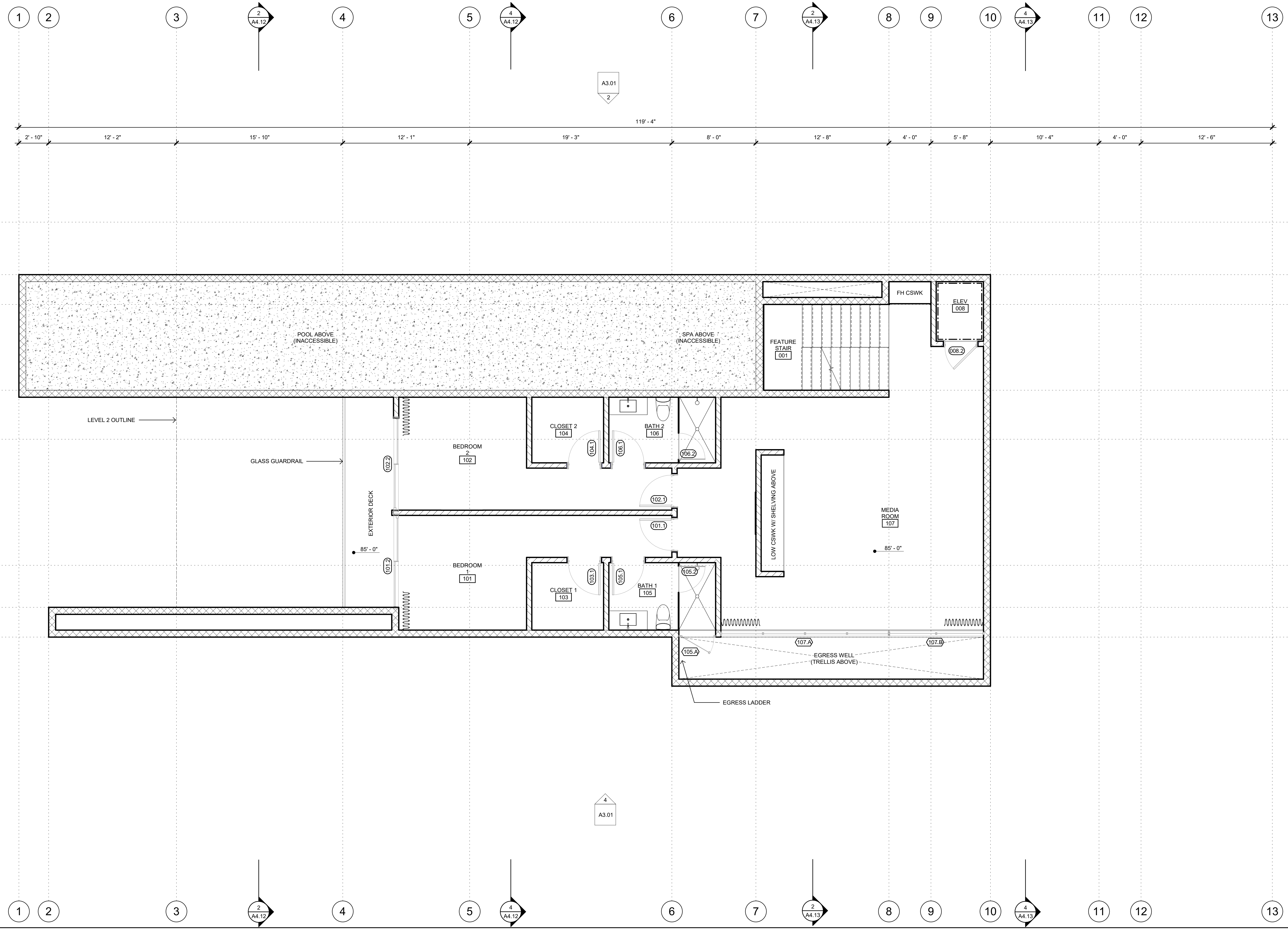


TYPICAL ASSEMBLIES:
ALL EXTERIOR WALLS TO BE WA-K1
(UNLESS OTHERWISE NOTED)
ALL INTERIOR WALLS TO BE WA-B1
(UNLESS OTHERWISE NOTED)

- WOOD FURRING (THICKNESS VARIES)
- 2X4 WOOD FRAMING
- 2X8 WOOD FRAMING
- 2X8 WOOD FRAMING
- MASONRY
- CONCRETE
- HUMIDITY CONTROLLED MECHANICAL EXHAUST FAN. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING
- COMBO HARDWIRED SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR
- CHANGE IN ELEVATION (STRUCTURE TO STRUCTURE)
- FLOOR ASSEMBLY
- WALL ASSEMBLY
- FIRE RATED WALL ASSEMBLY

FLOOR PLAN - LEVEL 0
1/4" = 1'-0"

LEGEND - SITE PLAN
NO SCALE

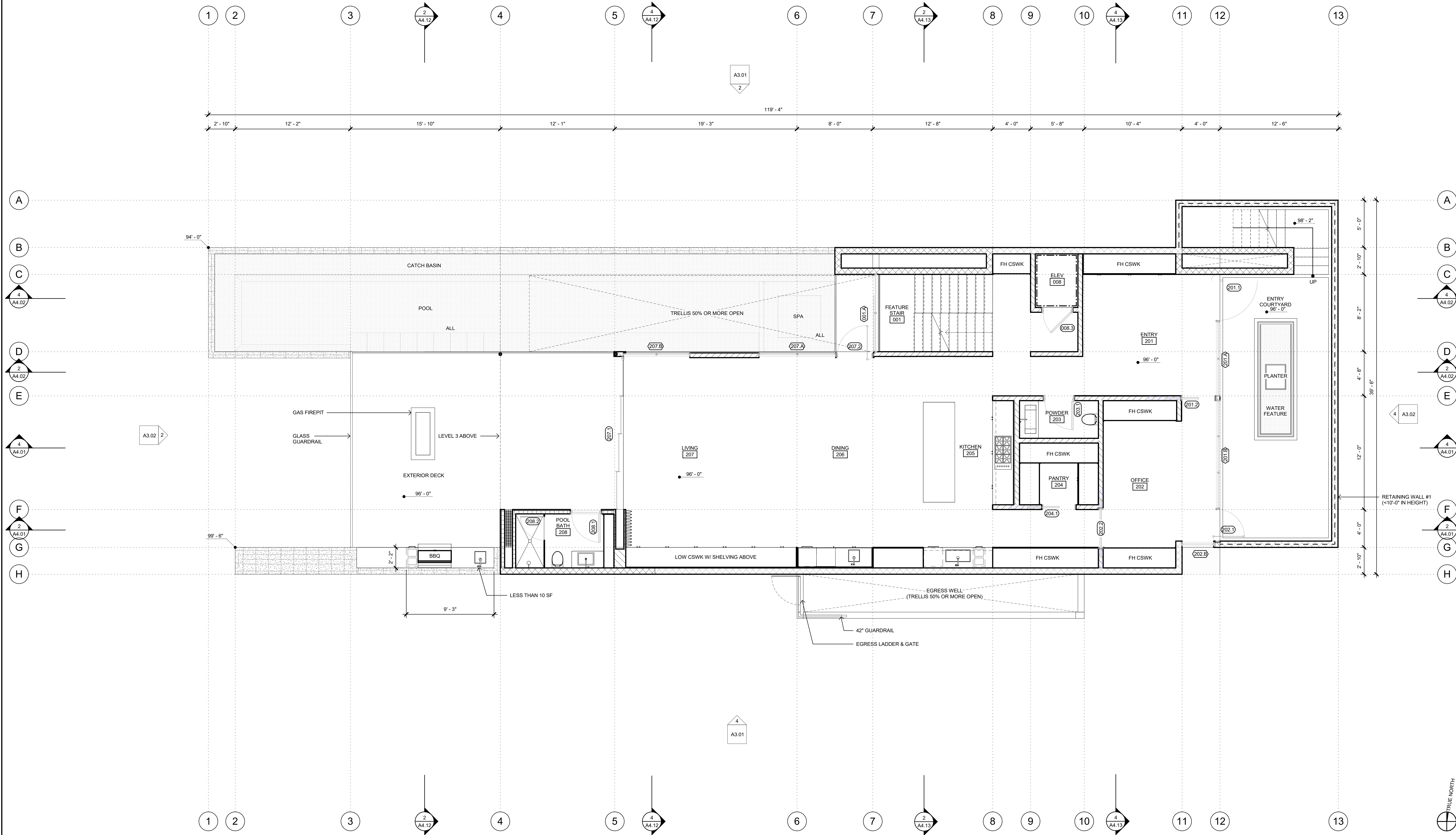


FLOOR PLAN - LEVEL 1
1/4" = 1'-0"

TYPICAL ASSEMBLIES:
ALL EXTERIOR WALLS TO BE WA-K1
(UNLESS OTHERWISE NOTED)
ALL INTERIOR WALLS TO BE WA-B1
(UNLESS OTHERWISE NOTED)

- WOOD FURRING (THICKNESS VARIES)
- 2X4 WOOD FRAMING
- 2X6 WOOD FRAMING
- 2X8 WOOD FRAMING
- MASONRY
- CONCRETE
- HUMIDITY CONTROLLED MECHANICAL EXHAUST FAN. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING
- COMBO HARDWIRED SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR
- CHANGE IN ELEVATION (STRUCTURE TO STRUCTURE)
- FLOOR ASSEMBLY
- WALL ASSEMBLY
- FIRE RATED WALL ASSEMBLY

LEGEND - SITE PLAN
NO SCALE

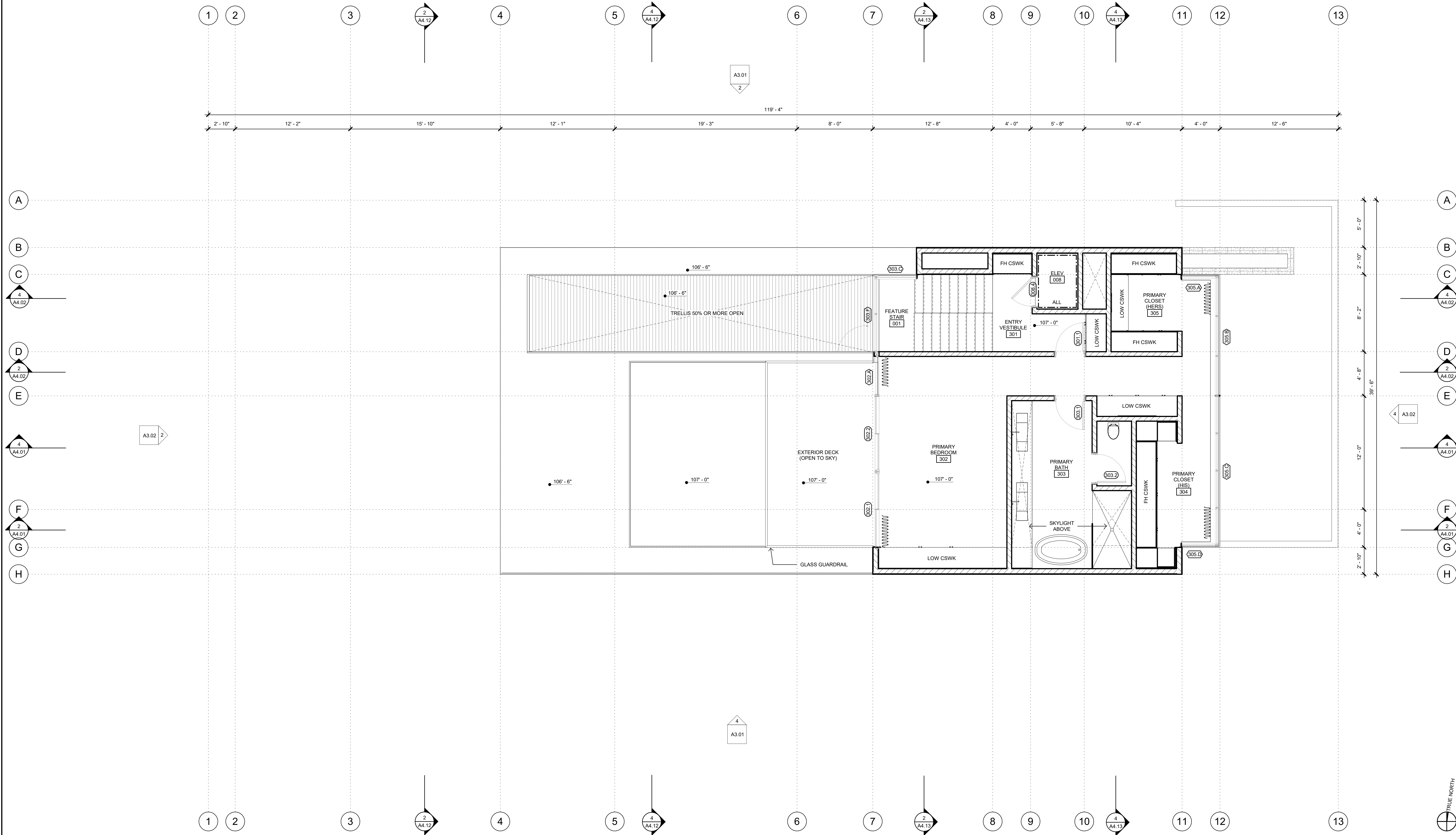


FLOOR PLAN - LEVEL 2
1/4" = 1'-0"

TYPICAL ASSEMBLIES:
ALL EXTERIOR WALLS TO BE WA-K1
(UNLESS OTHERWISE NOTED)
ALL INTERIOR WALLS TO BE WA-B1
(UNLESS OTHERWISE NOTED)

- WOOD FURRING (THICKNESS VARIES)
- 2X4 WOOD FRAMING
- 2X8 WOOD FRAMING
- 2X8 WOOD FRAMING
- MASONRY
- CONCRETE
- HUMIDITY CONTROLLED MECHANICAL EXHAUST FAN. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- COMBO HARDWIRED SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR
- CHANGE IN ELEVATION (STRUCTURE TO STRUCTURE)
- FLOOR ASSEMBLY
- WALL ASSEMBLY
- FIRE RATED WALL ASSEMBLY

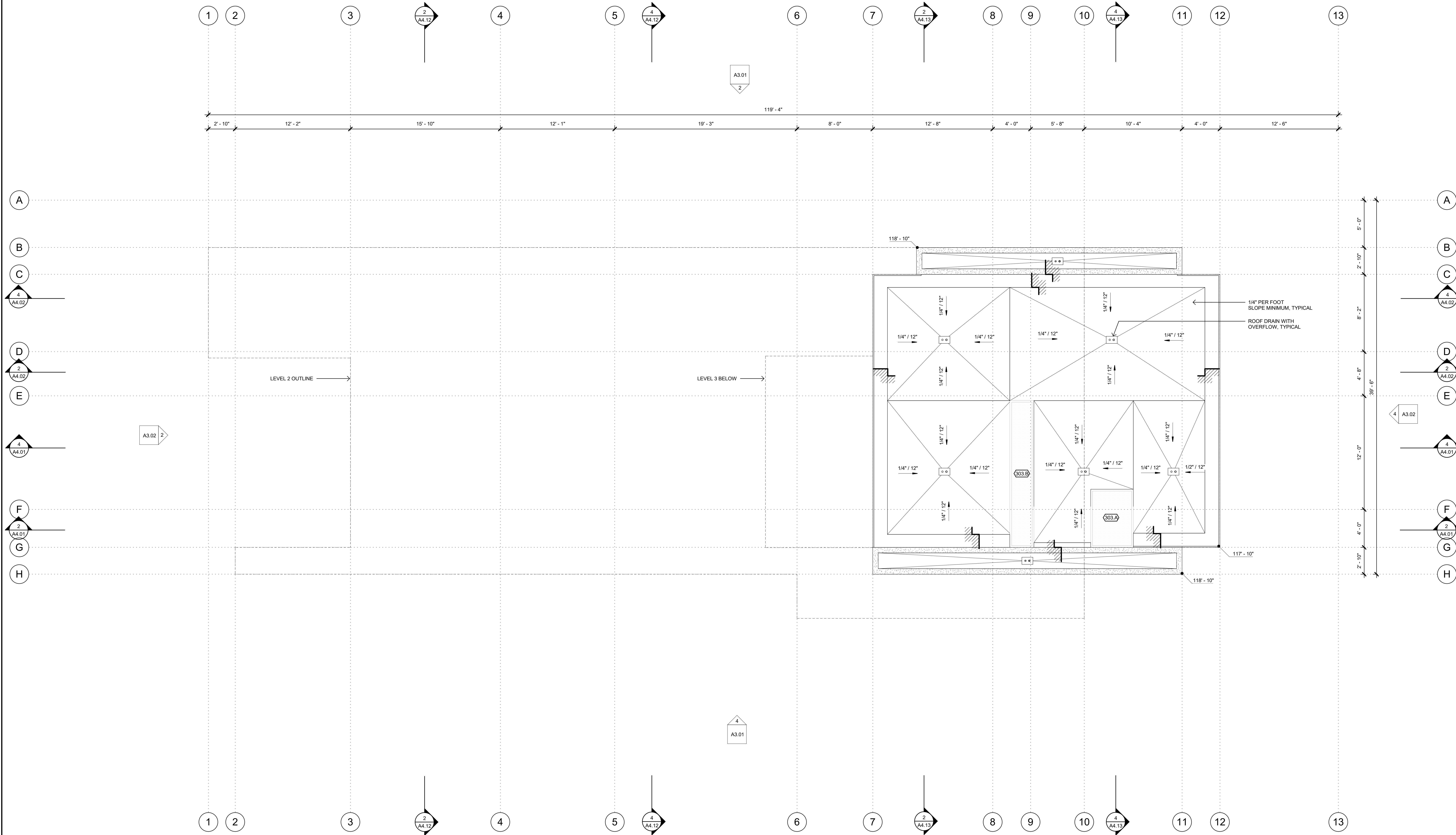
LEGEND - FLOOR PLAN
NO SCALE



FLOOR PLAN - LEVEL 3
1/4" = 1'-0"

- WOOD FURRING (THICKNESS VARIES)
- 2X4 WOOD FRAMING
- 2X6 WOOD FRAMING
- 2X8 WOOD FRAMING
- MASONRY
- CONCRETE
- HUMIDITY CONTROLLED MECHANICAL EXHAUST FAN. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING
- COMBO HARDWIRED SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR
- CHANGE IN ELEVATION (STRUCTURE TO STRUCTURE)
- FLOOR ASSEMBLY
- WALL ASSEMBLY
- FIRE RATED WALL ASSEMBLY

LEGEND - FLOOR PLAN
NO SCALE





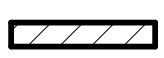


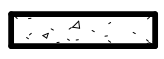




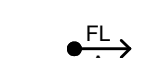
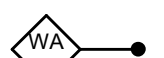
1/4" PER FOOT
SLOPE MINIMUM, TYPICAL
ROOF DRAIN WITH
OVERFLOW, TYPICAL

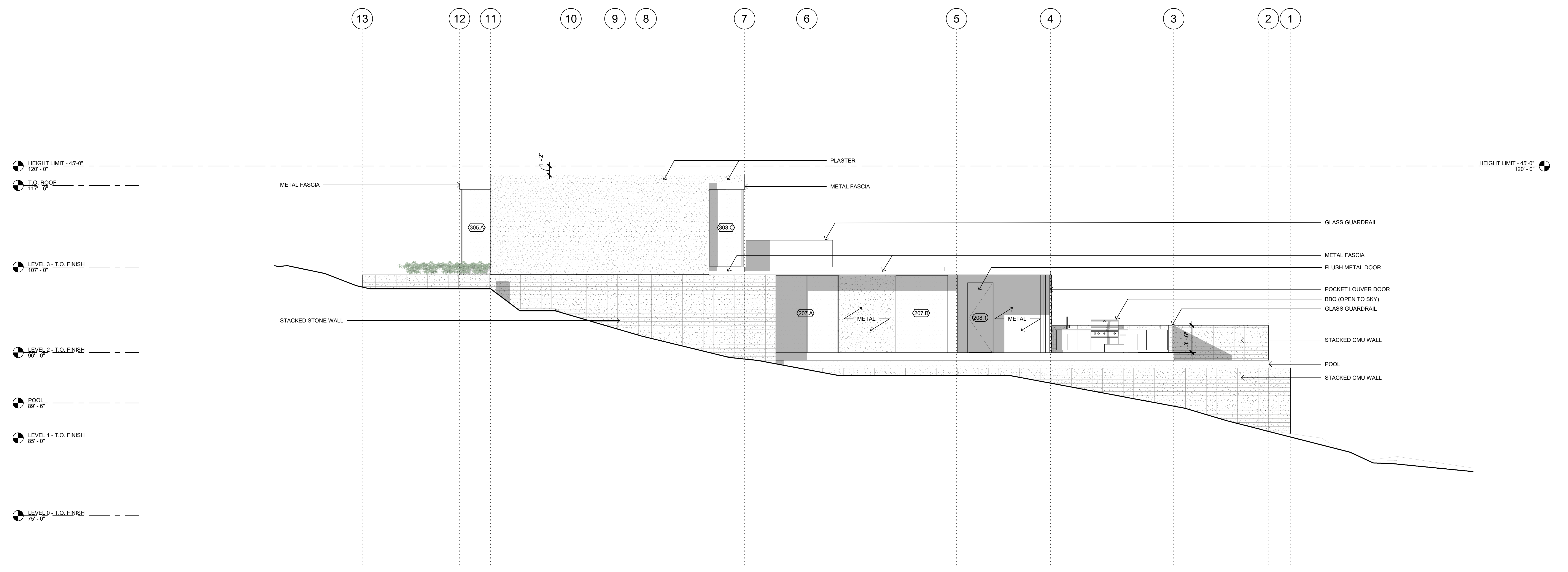
LEVEL 2 OUTLINE

LEVEL 3 BELOW

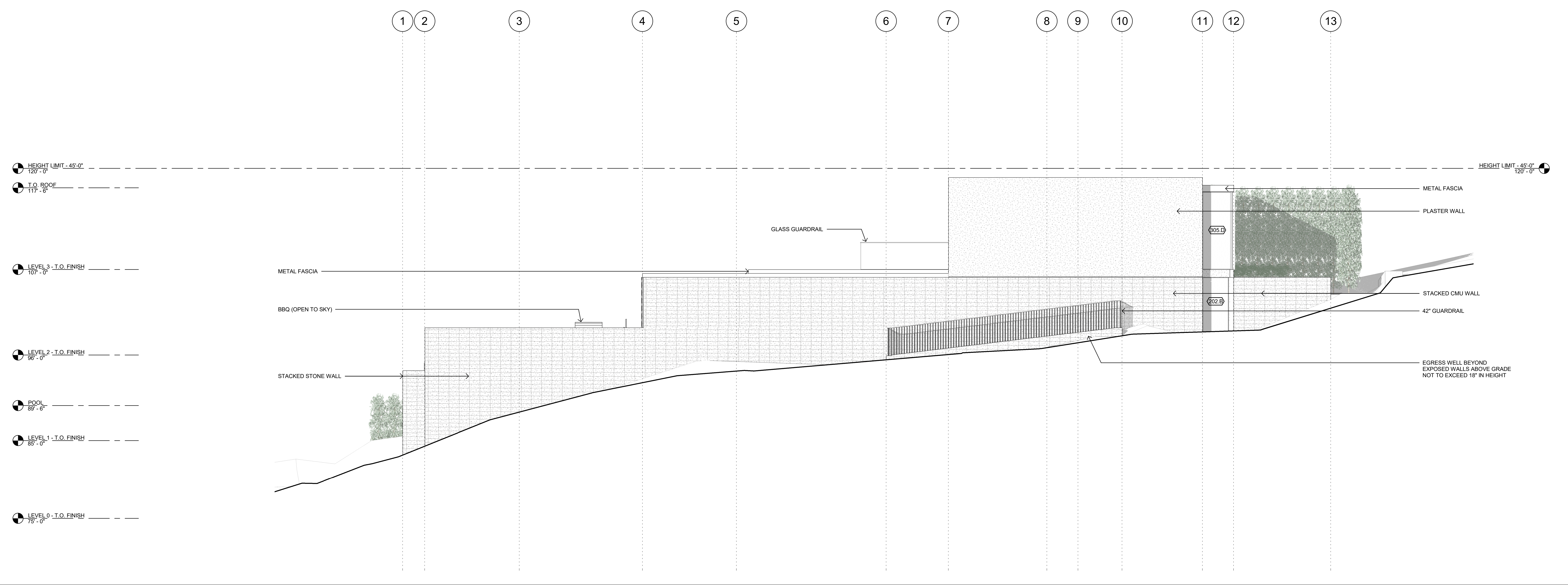
ROOF PLAN
1/4" = 1'-0"

3

-  WOOD FURRING (THICKNESS VARIES)
-  2X4 WOOD FRAMING
-  2X8 WOOD FRAMING
-  2X8 WOOD FRAMING
-  MASONRY
-  CONCRETE
-  HUMIDITY CONTROLLED MECHANICAL EXHAUST FAN. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING
-  COMBO HARDWIRED SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR
-  CHANGE IN ELEVATION (STRUCTURE TO STRUCTURE)
-  FLOOR ASSEMBLY
-  WALL ASSEMBLY
-  FIRE RATED WALL ASSEMBLY



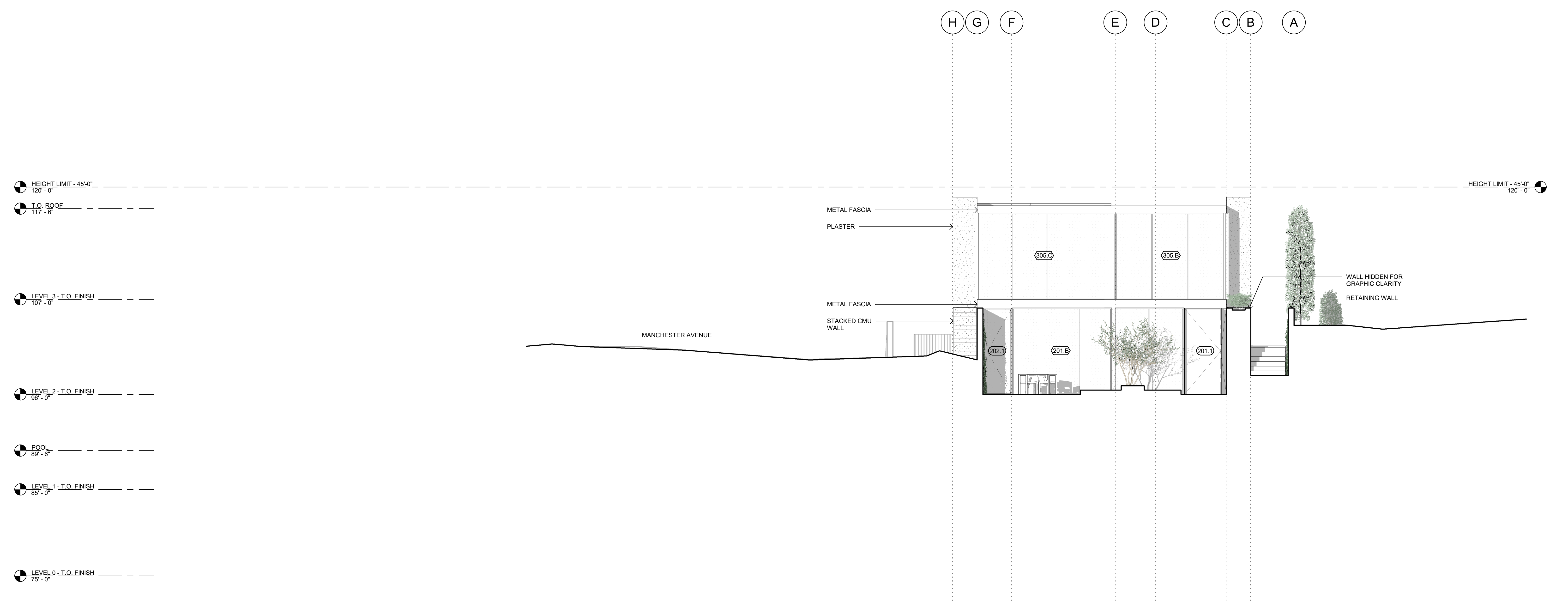
EXTERIOR ELEVATION - NORTH
3/16" = 1'-0"



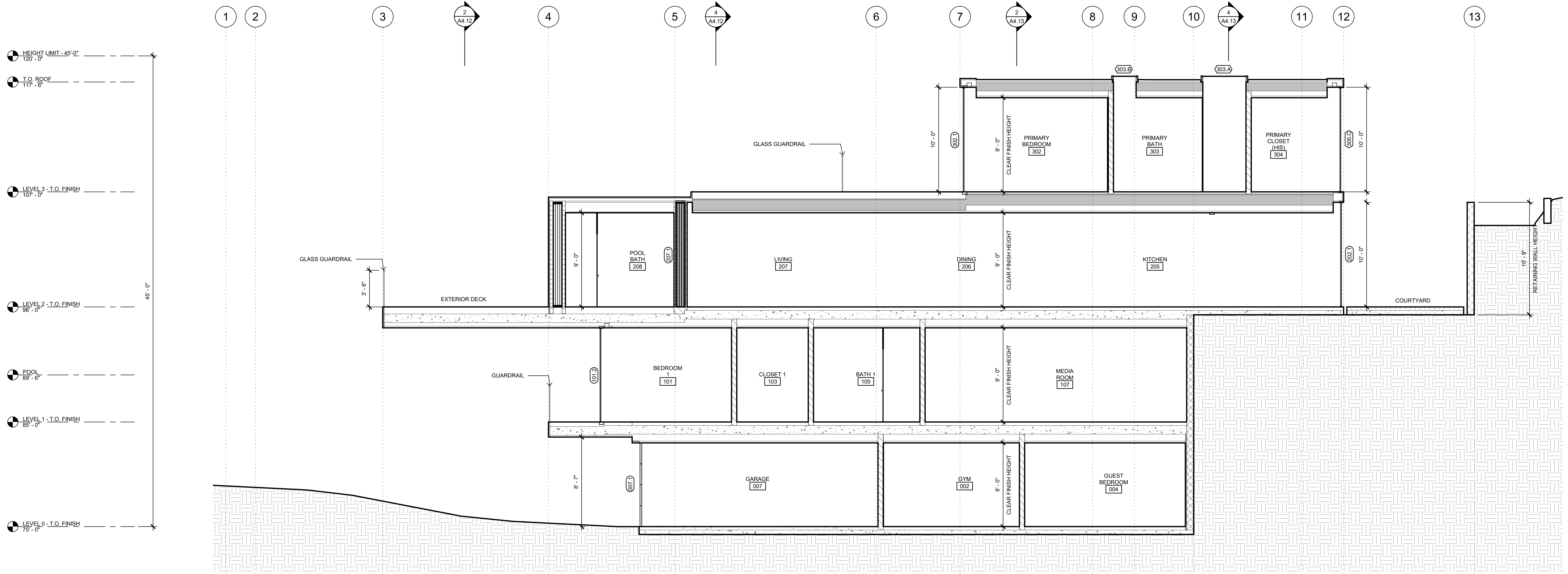
EXTERIOR ELEVATION - SOUTH
3/16" = 1'-0"



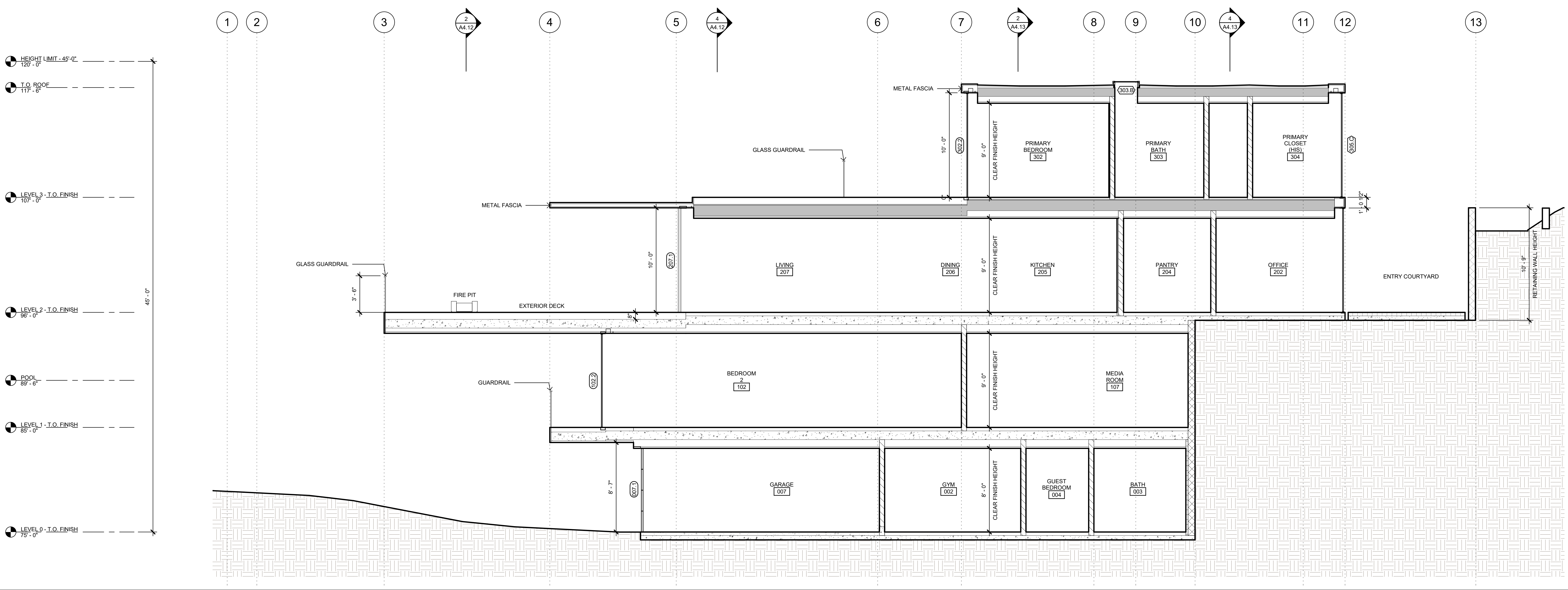
EXTERIOR ELEVATION - WEST
3/16" = 1'-0" 2



EXTERIOR ELEVATION - EAST
3/16" = 1'-0" 4



SECTION - LONGITUDINAL - 1
1/4" = 1'-0"



SECTION - LONGITUDINAL - 2
1/4" = 1'-0"

HEIGHT LIMIT - 45'-0"
120'-0"

T.O. ROOF
117'-8"

LEVEL 3 - T.O. FINISH
107'-0"

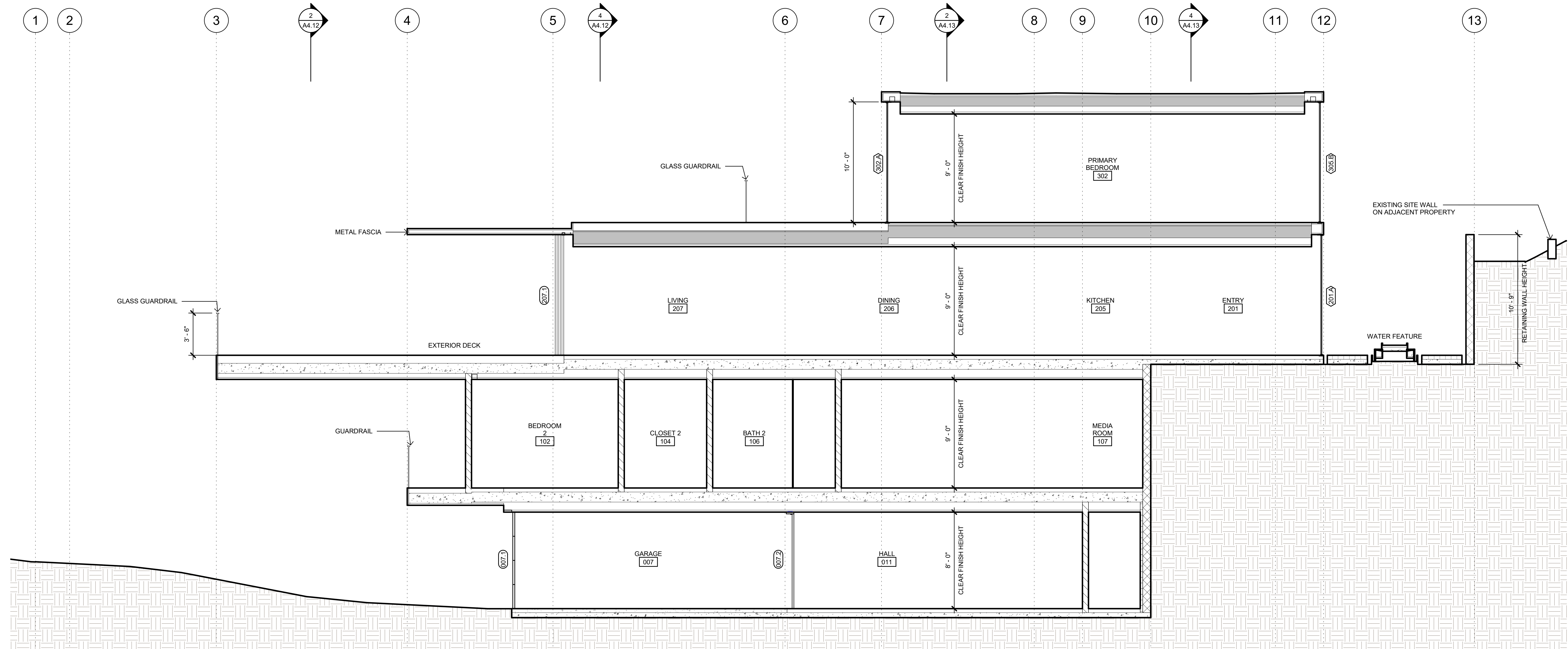
LEVEL 2 - T.O. FINISH
96'-0"

POOL
89'-0"

LEVEL 1 - T.O. FINISH
85'-0"

LEVEL 0 - T.O. FINISH
75'-0"

45'-0"



SECTION - LONGITUDINAL - 3
1/4" = 1'-0"

2

HEIGHT LIMIT - 45'-0"
120'-0"

T.O. ROOF
117'-8"

LEVEL 3 - T.O. FINISH
107'-0"

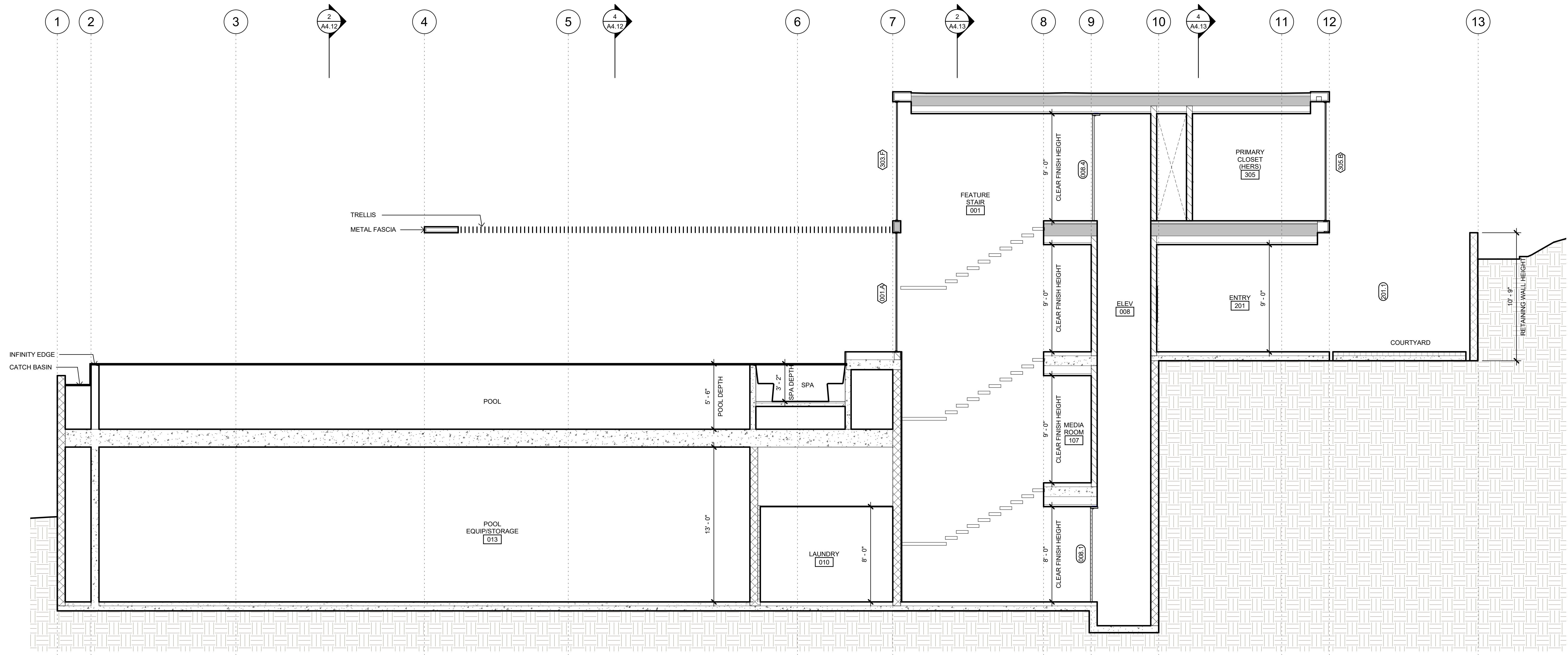
LEVEL 2 - T.O. FINISH
96'-0"

POOL
89'-0"

LEVEL 1 - T.O. FINISH
85'-0"

LEVEL 0 - T.O. FINISH
75'-0"

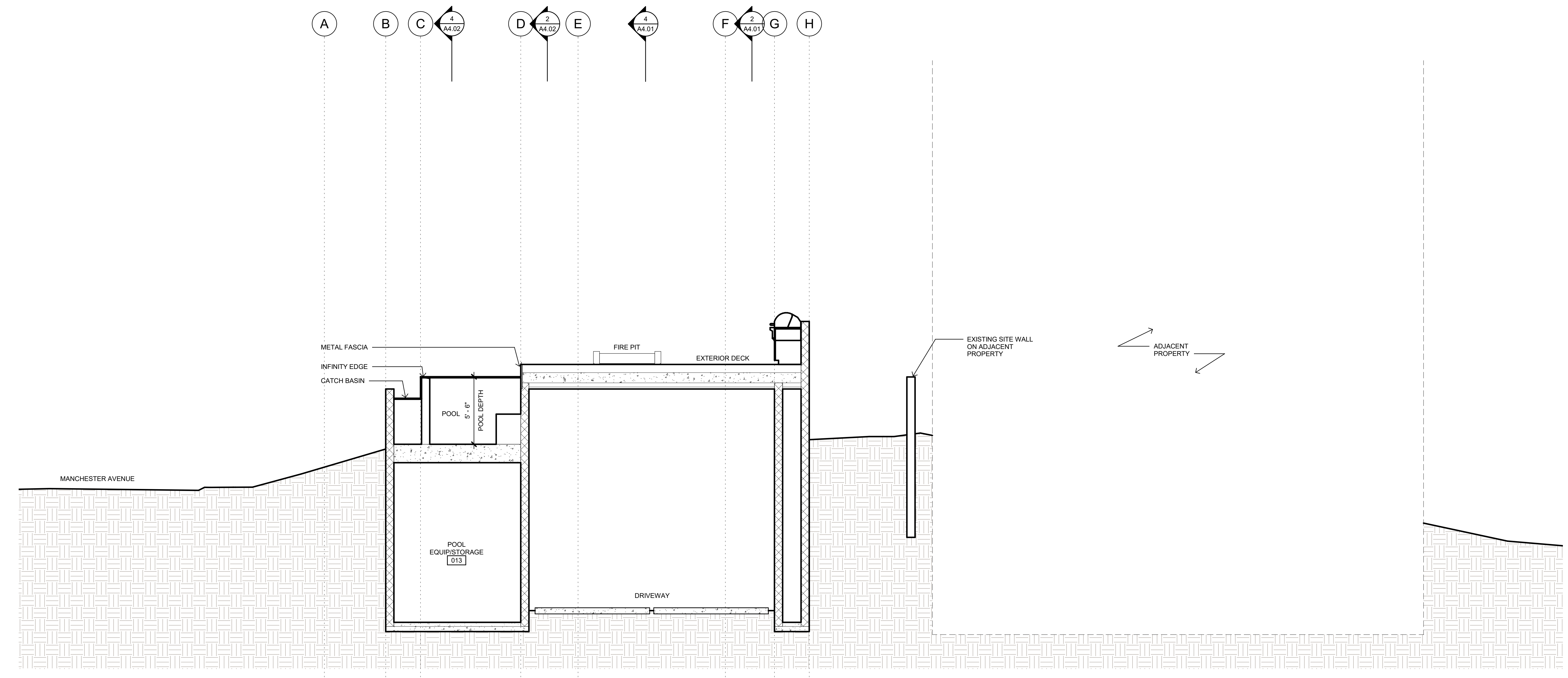
45'-0"



SECTION - LONGITUDINAL - 4
1/4" = 1'-0"

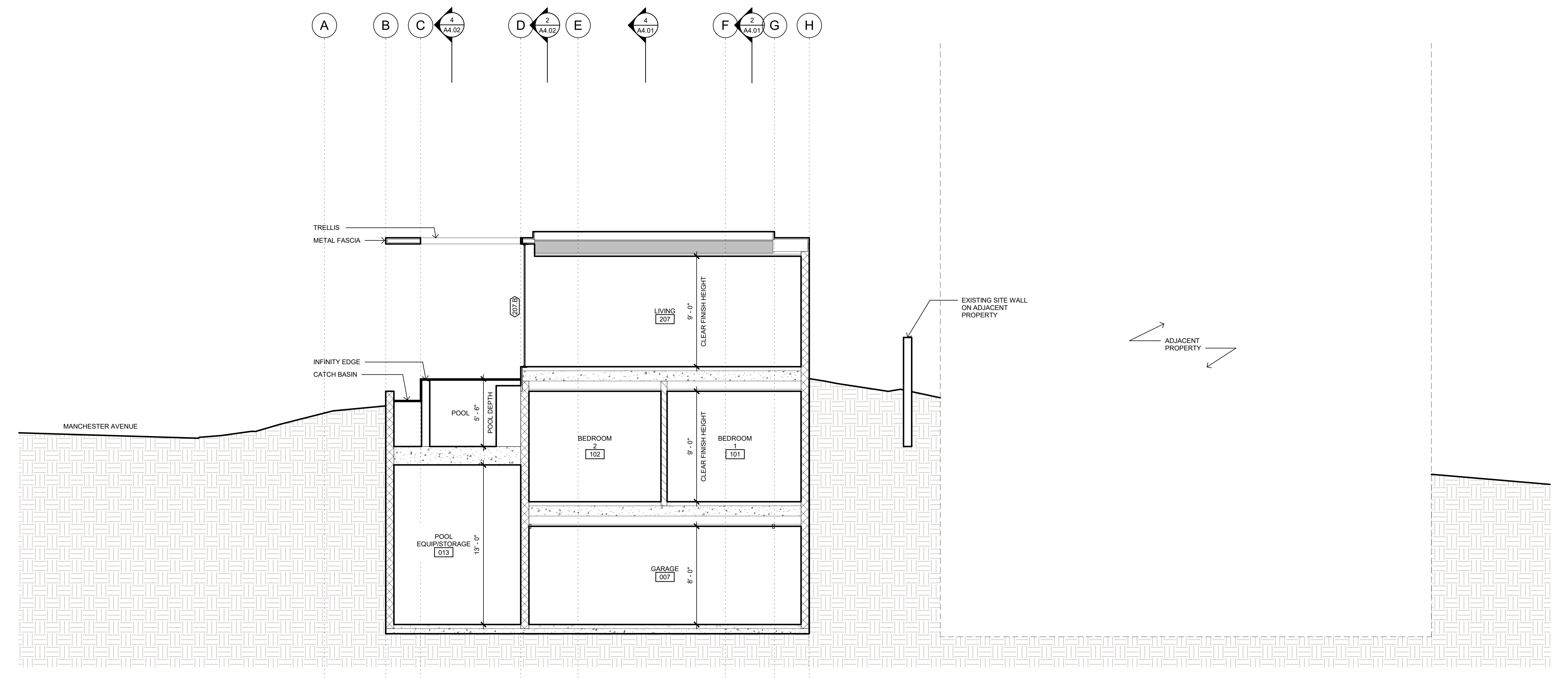
4

- HEIGHT LIMIT - 45'-0" 120'-0"
- T.O. ROOF 117'-6"
- LEVEL 3 - T.O. FINISH 107'-0"
- LEVEL 2 - T.O. FINISH 96'-0"
- POOL 89'-6"
- LEVEL 1 - T.O. FINISH 85'-0"
- LEVEL 0 - T.O. FINISH 75'-0"



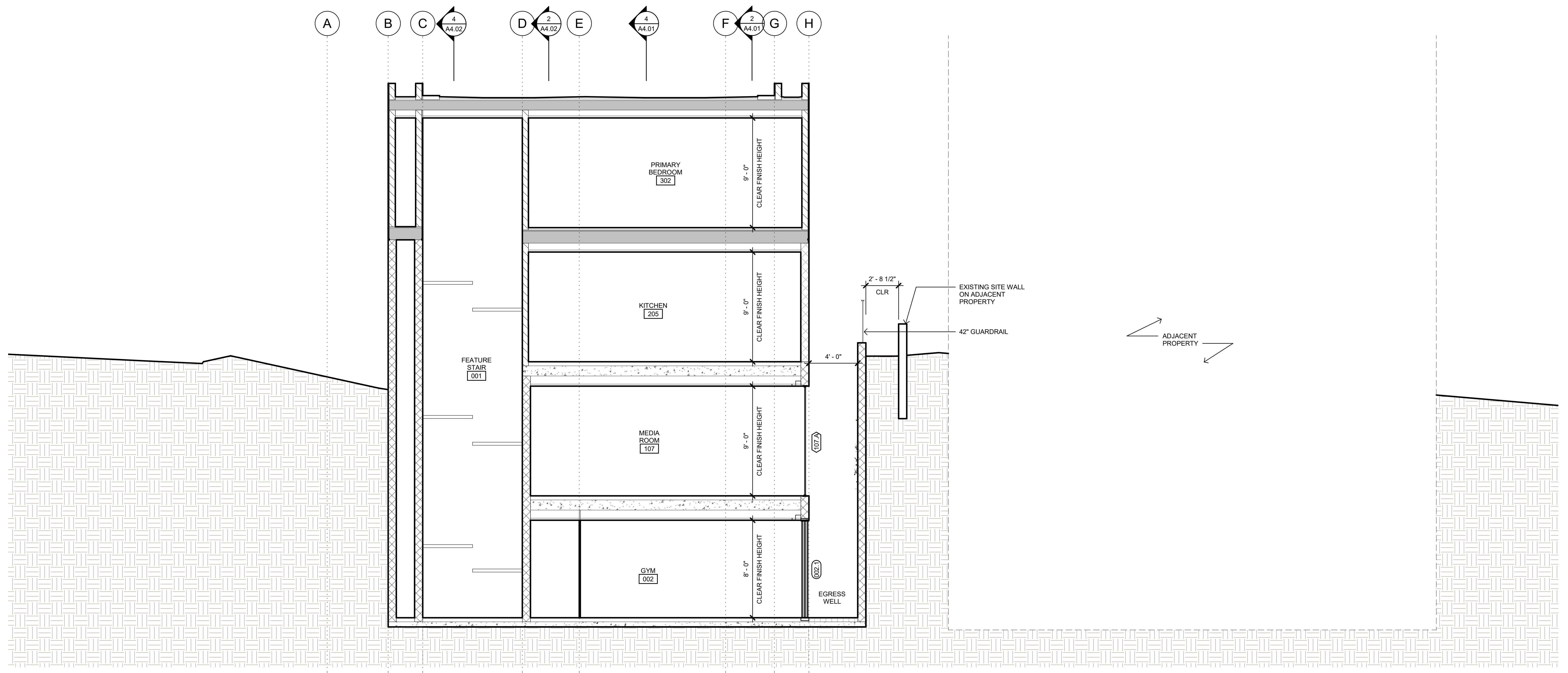
SECTION - CROSS - 1
1/4" = 1'-0" 2

- HEIGHT LIMIT - 45'-0" 120'-0"
- T.O. ROOF 117'-6"
- LEVEL 3 - T.O. FINISH 107'-0"
- LEVEL 2 - T.O. FINISH 96'-0"
- POOL 89'-6"
- LEVEL 1 - T.O. FINISH 85'-0"
- LEVEL 0 - T.O. FINISH 75'-0"



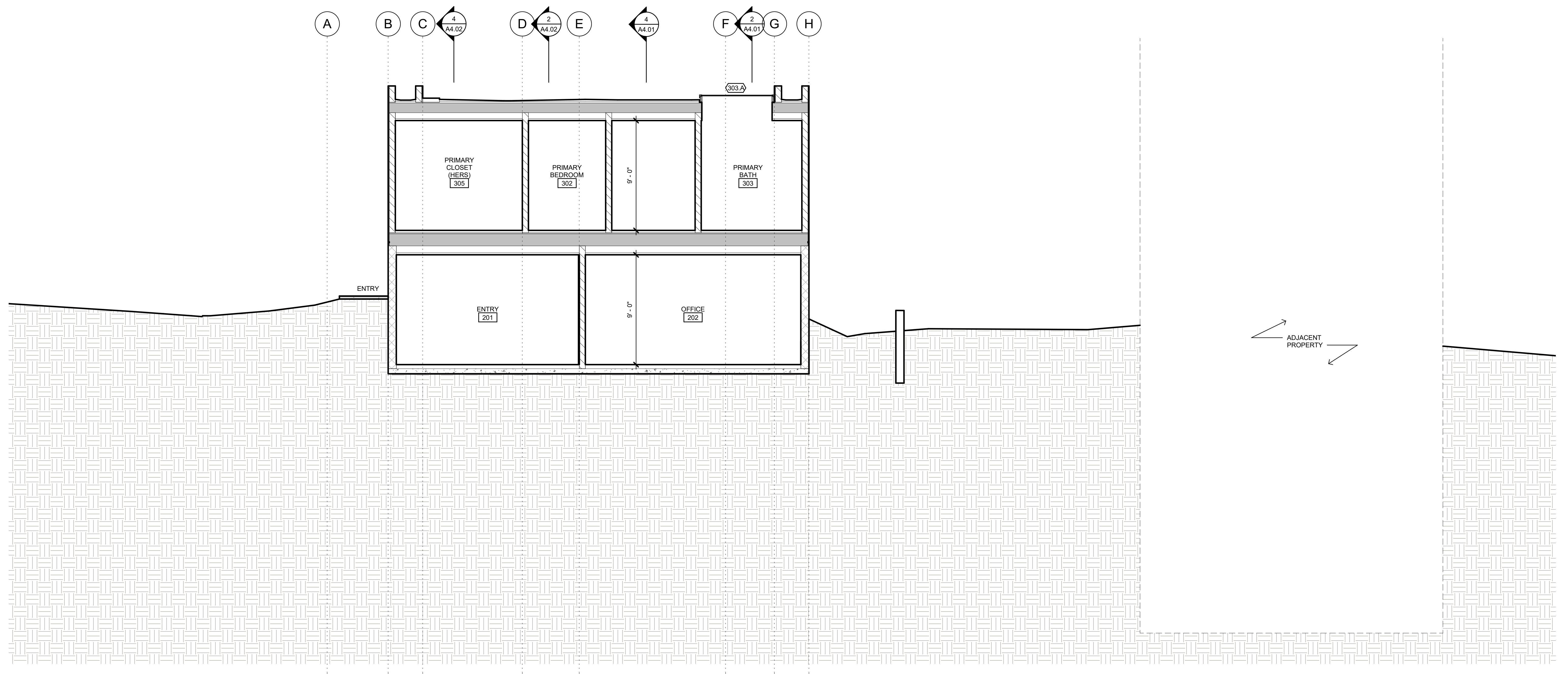
SECTION - CROSS - 2
1/4" = 1'-0" 4

- HEIGHT LIMIT - 45'-0" 120'-0"
- T.O. ROOF 117'-8"
- LEVEL 3 - T.O. FINISH 107'-0"
- LEVEL 2 - T.O. FINISH 96'-0"
- POOL 89'-6"
- LEVEL 1 - T.O. FINISH 85'-0"
- LEVEL 0 - T.O. FINISH 75'-0"

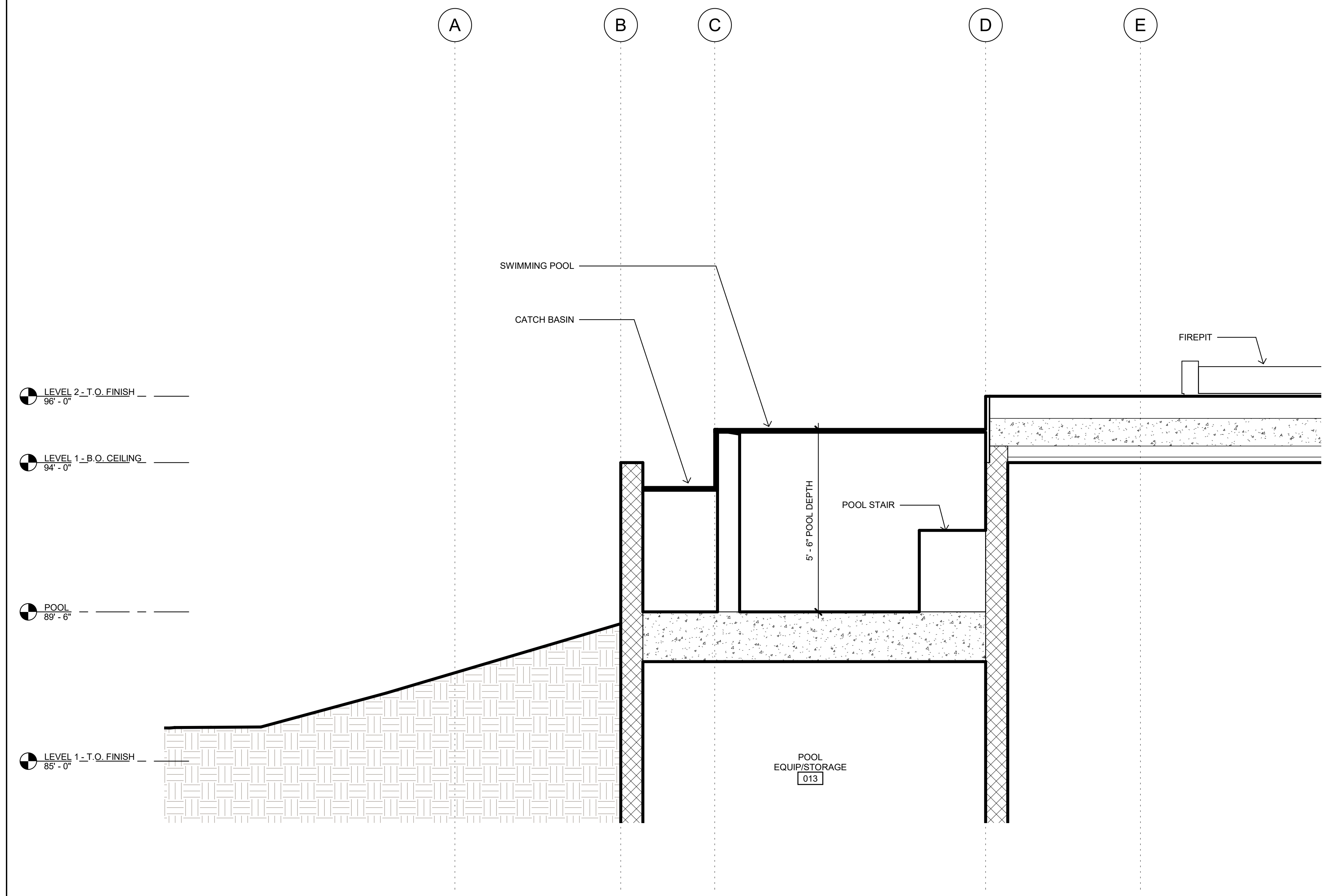


SECTION - CROSS - 3
1/4" = 1'-0" 2

- HEIGHT LIMIT - 45'-0" 120'-0"
- T.O. ROOF 117'-8"
- LEVEL 3 - T.O. FINISH 107'-0"
- LEVEL 2 - T.O. FINISH 96'-0"
- POOL 89'-6"
- LEVEL 1 - T.O. FINISH 85'-0"
- LEVEL 0 - T.O. FINISH 75'-0"

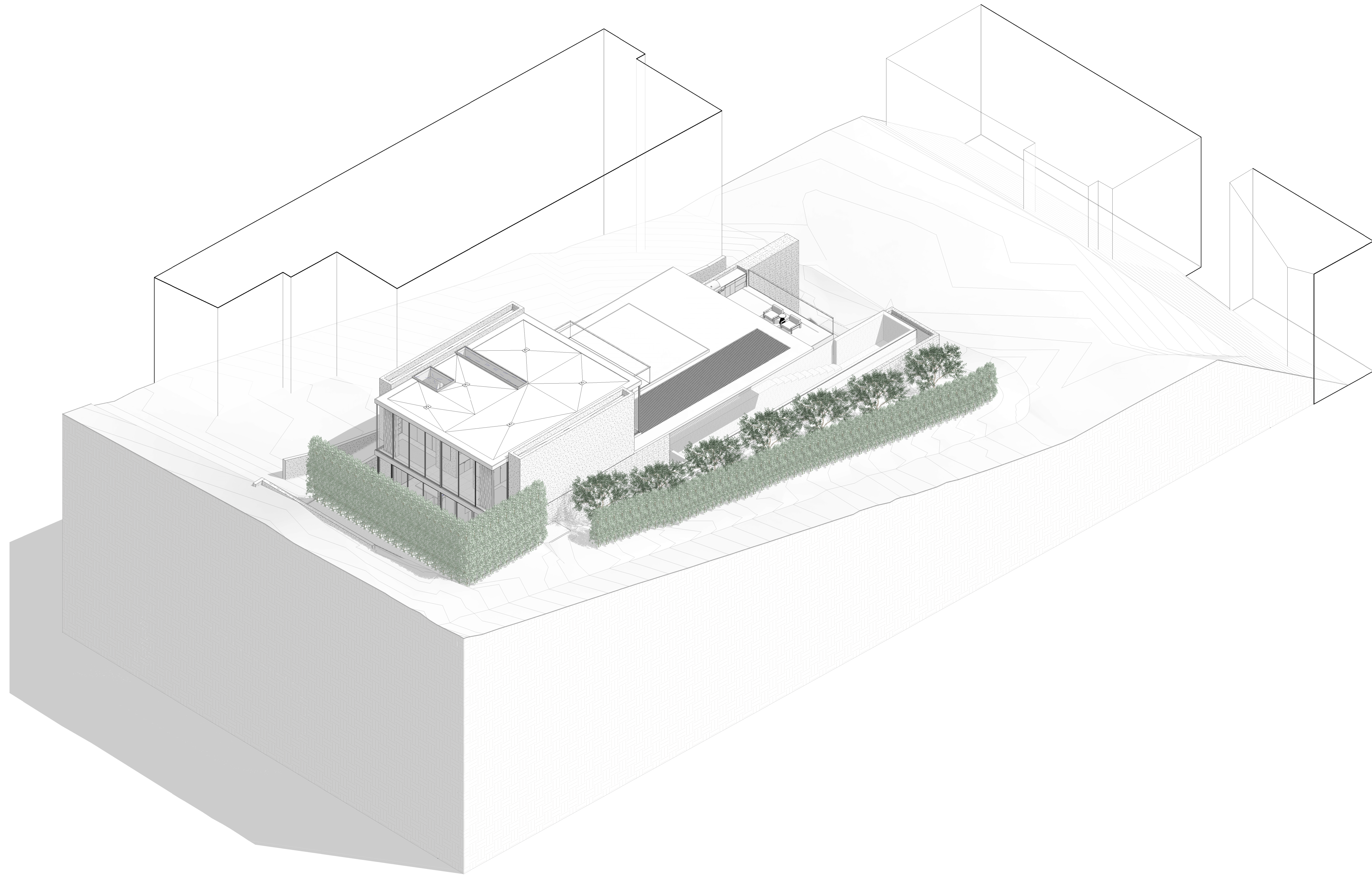


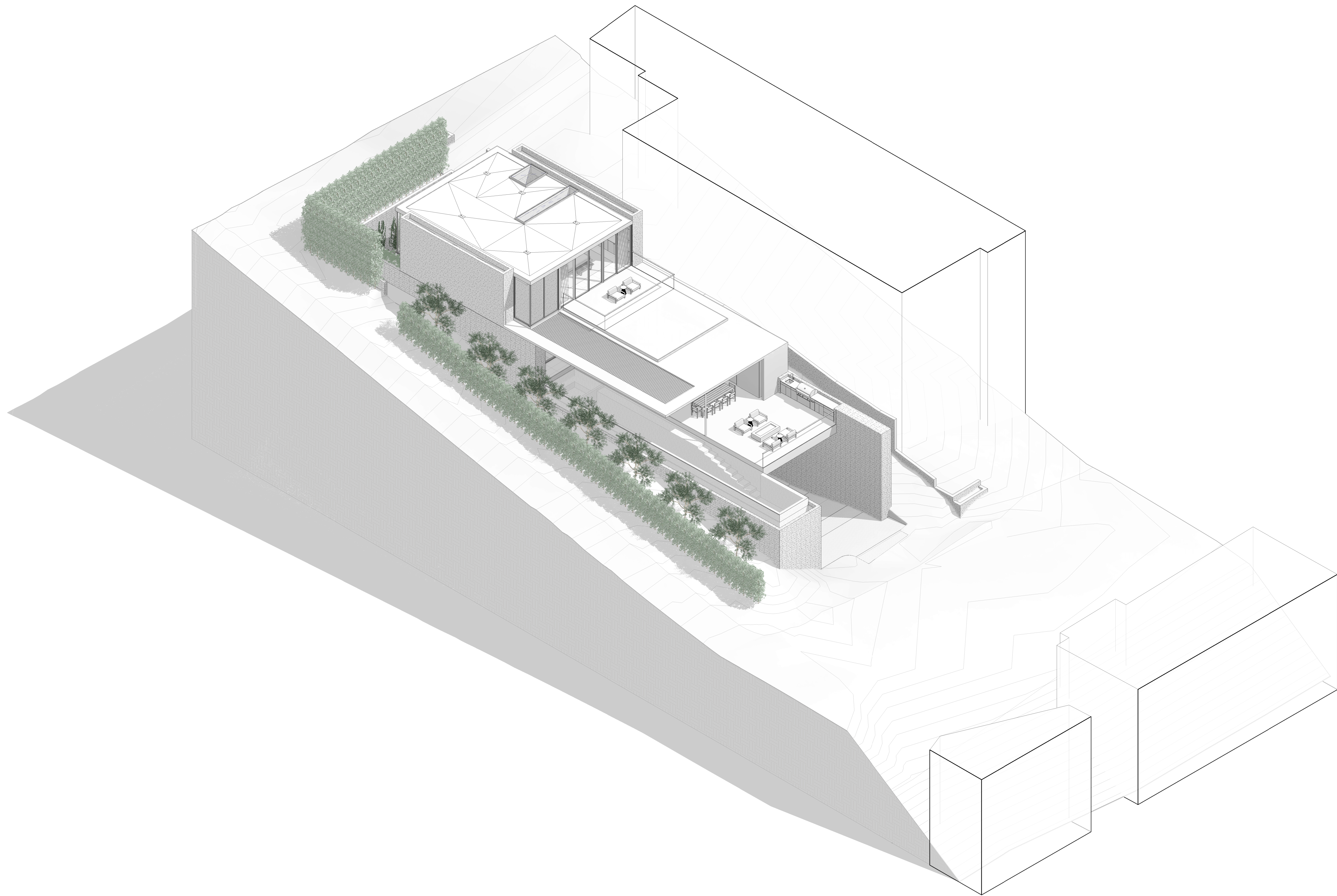
SECTION - CROSS - 4
1/4" = 1'-0" 4

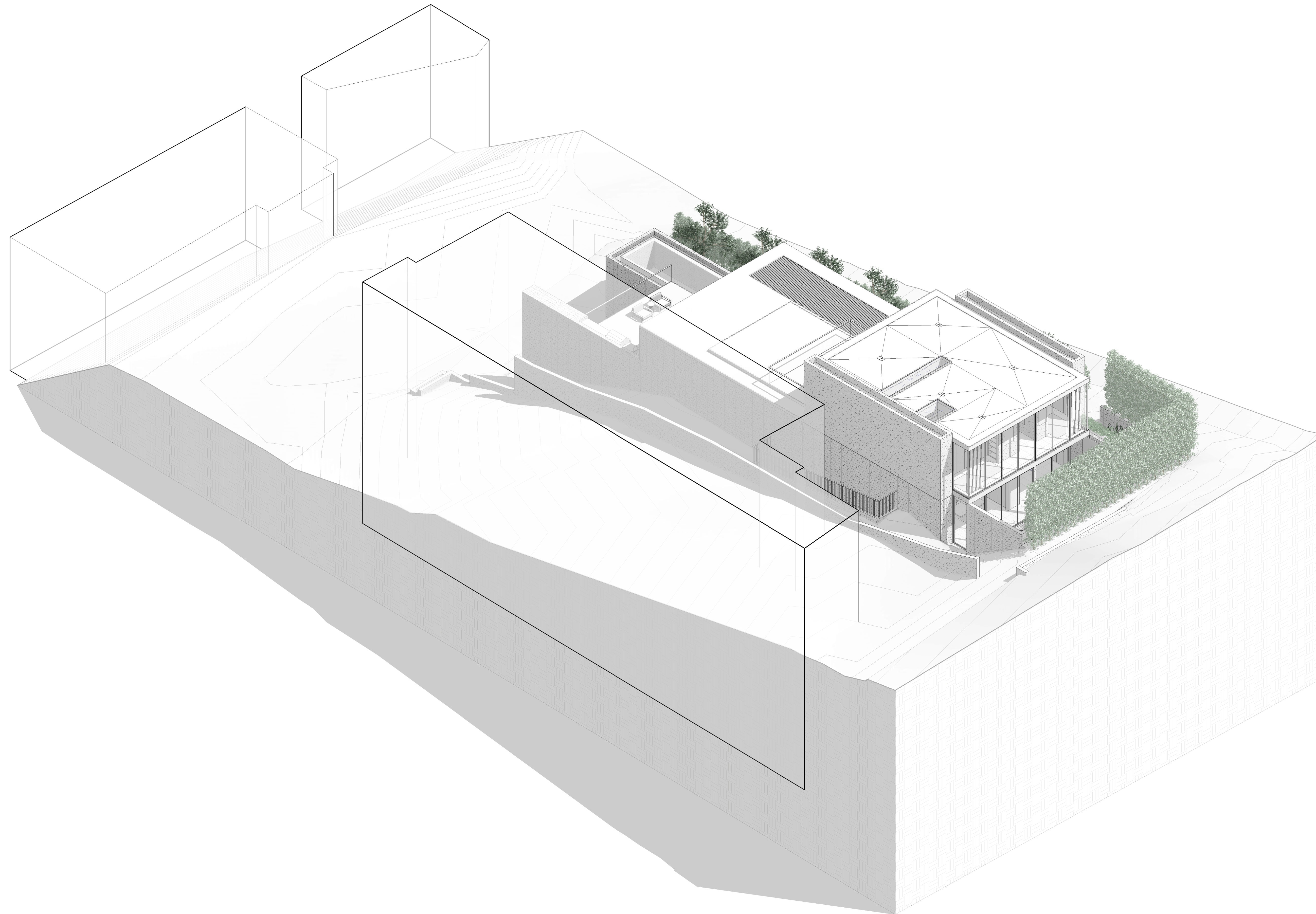


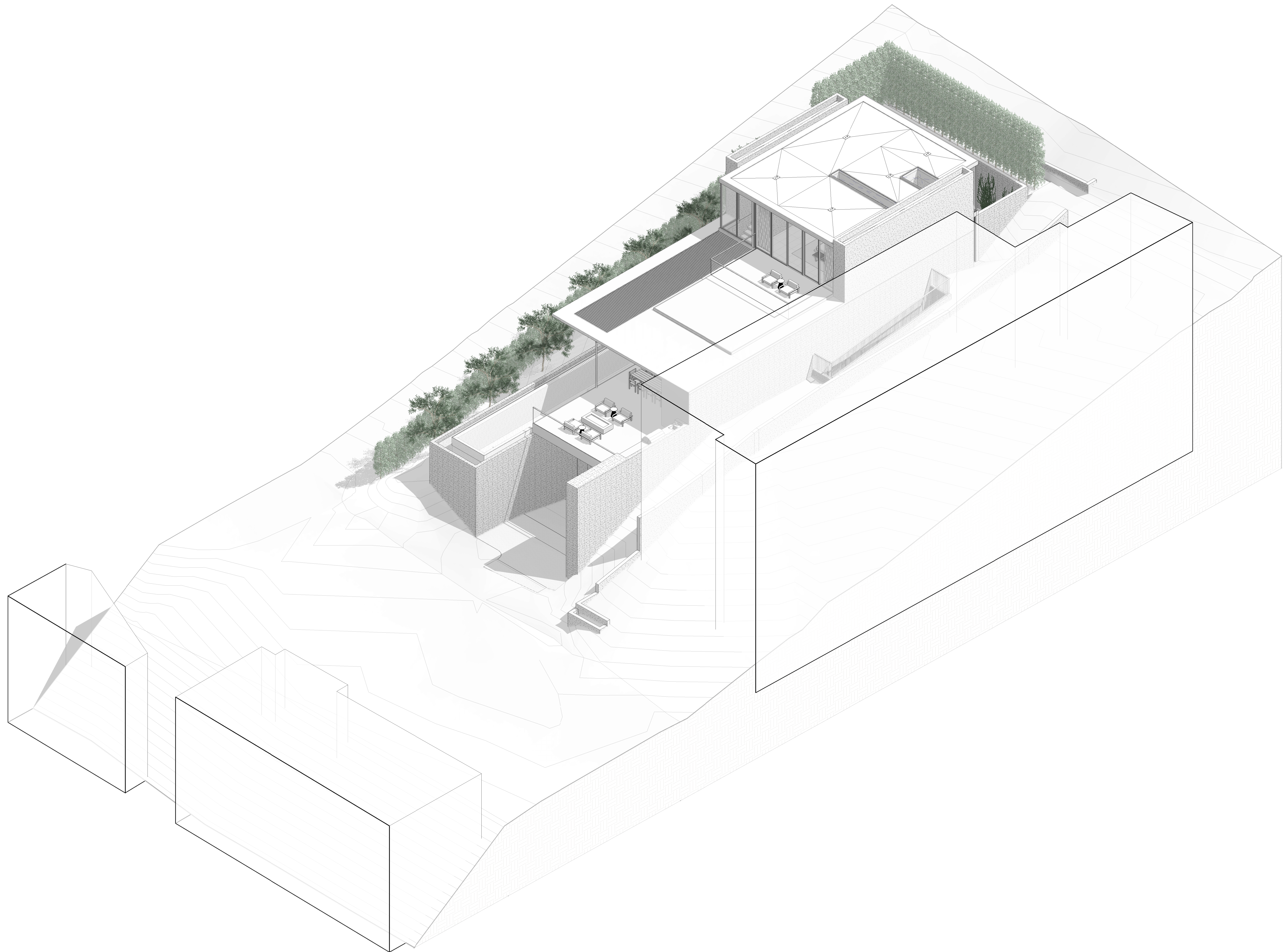
- LEVEL 2-T.O. FINISH — 96'-0"
- LEVEL 1-B.O. CEILING — 94'-0"
- POOL — 89'-6"
- LEVEL 1-T.O. FINISH — 85'-0"

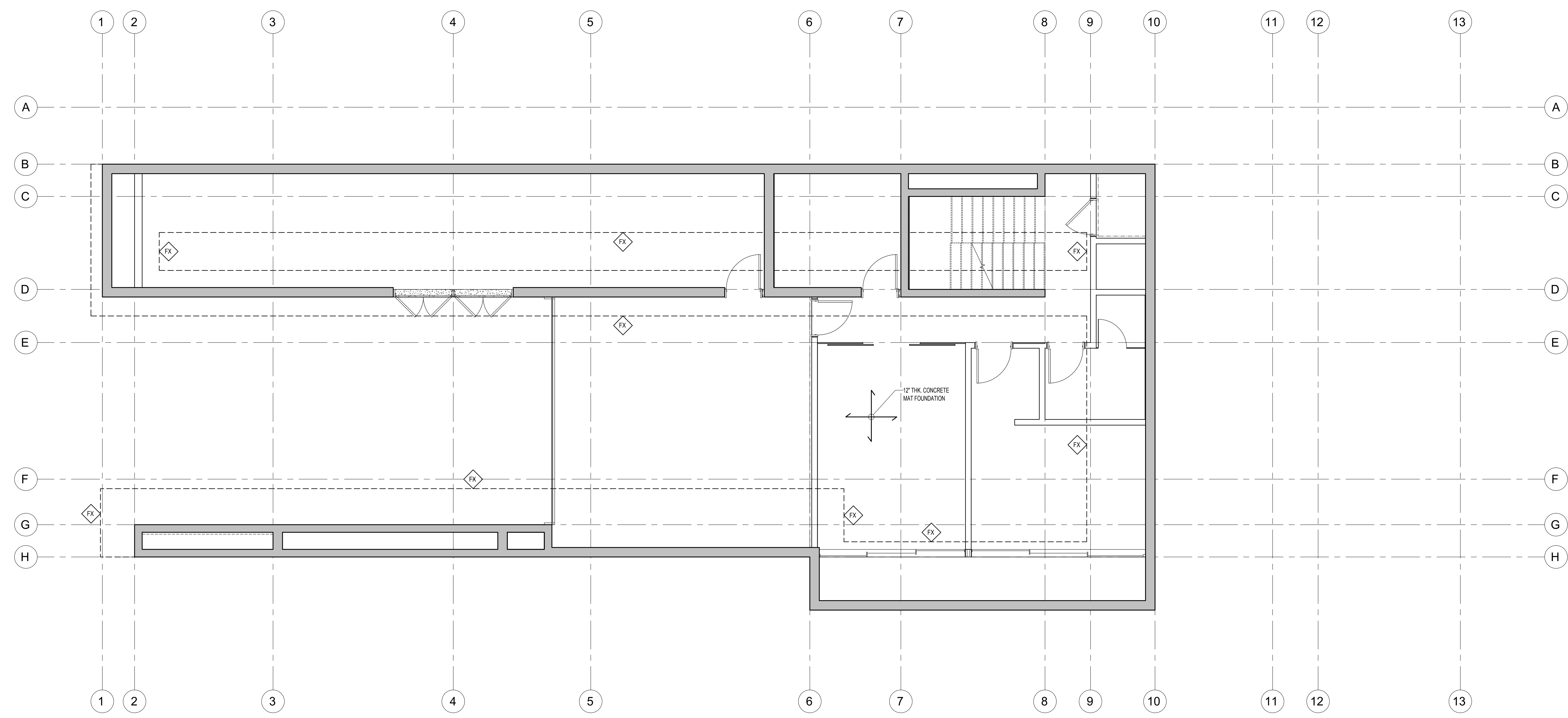
POOL & SPA CROSS SECTION
1/2" = 1'-0"



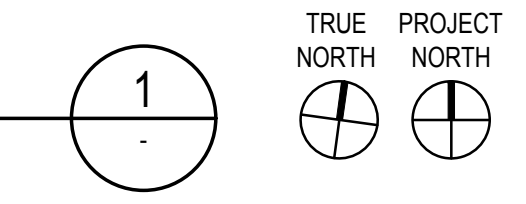








FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



PLAN NOTES - FOUNDATION:

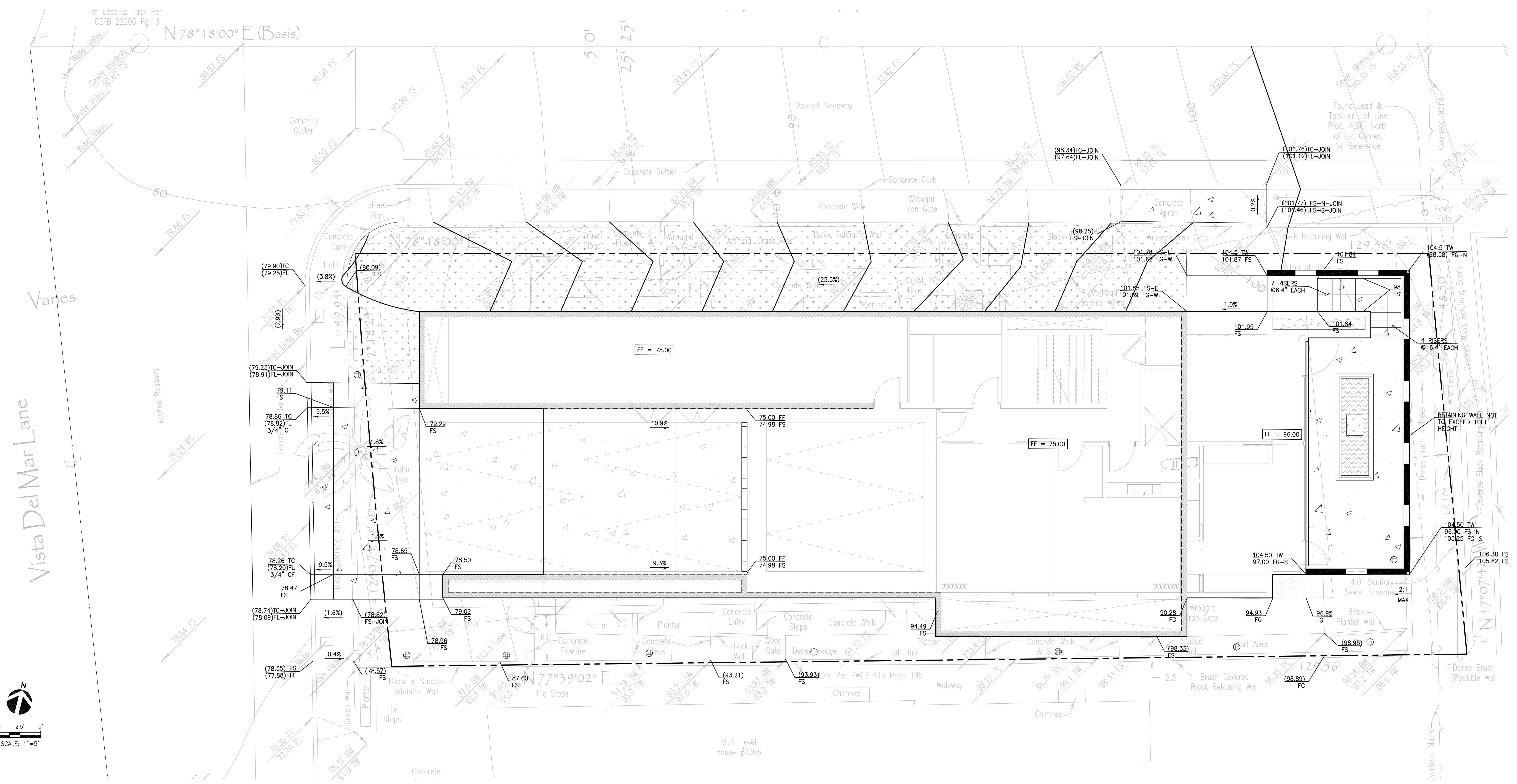
- 201. ALL GRADING & FOUNDATION WORK MUST BE OBSERVED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF STEEL REINFORCEMENT AND POURING CONCRETE.
- 202. PER SOILS REPORT RECOMMENDED MATERIAL IS XX
- 203. ALL FRICTION PILES OR CAISSON DRILLING AND INSTALLATION SHALL BE PERFORMED UNDER THE INSPECTION AND APPROVAL OF THE SOILS ENGINEER.
- 204. U.N.O. TOP OF CONCRETE PILES ELEVATION SHALL BE 3'-0" BELOW THE TOP OF THE LOWEST SLAB DIRECTLY ABOVE THE PILE. FOR TOP OF SLAB ELEVATION S.A.D.
- 205. IF FOR LIMITS AND EXTENT OF OVER EXCAVATION SEE CIVIL DRAWINGS.
- 206. U.N.O. TOP OF CONCRETE GRADE BEAMS & TOP OF CONC. FOOTING ELEVATION SHALL BE 12" BELOW THE TOP OF THE LOWEST SLAB DIRECTLY ABOVE THE FOOTING. FOR TOP OF SLAB ELEVATION SEE ARCH'L DRAWINGS.
- 207. ALL HOLDOWN HARDWARE IS TO BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION. HOLDOWNS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING PLATE WASHERS ARE REQUIRED FOR ALL HOLDOWNS.
- 208. FOR SLAB ON GRADE SUB-GRADE PREPARATION SEE SOILS REPORT.
- 209. FOR VAPOR BARRIER AT INTERIOR SPACES S.A.D. SPECIFICATIONS/DRAWINGS.
- 210. CONCRETE SLAB ON GRADE: 4" THICK, REINFORCED WITH #4 BARS AT 16" O.C. EACH WAY.
- 211. PER SOIL REPORT, RETAINING WALLS MUST BE PROVIDED WITH A SUBDRAIN. SEE SOILS REPORT FOR MORE DETAILS.
- 212. THE PERIMETER WALLS ARE NOT TO BE BACKFILLED UNTIL THE FLOOR SLABS ARE POURED AND CURED.

PLAN NOTES - SHEETS AND GENERAL:

- 101. GENERAL NOTES AND TYPICAL DETAILS SHEETS: SEE S### THRU S### SHEETS. GENERAL NOTES & TYPICAL DETAILS APPLY TO ALL PARTS OF THE WORK EXCEPT WHERE SPECIFICALLY DETAILED OR U.N.O. ON THE FLOOR PLANS AND PLAN NOTES
- 102. VERIFY ALL DIMENSIONS, ELEVATIONS, SLAB EDGES, SLAB DEPRESSIONS, SLAB OPENINGS, CURBS, FOOTING, PENETRATIONS, WALL OPENINGS WITH ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL & CIVIL DRAWINGS.
- 103. FOR ALL DIMENSIONS & ROOF SLOPES S.A.D.
- 104. NON-BEARING WALLS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. FOR NON-BEARING WALL LOCATIONS S.A.D.

SYMBOLS - FOUNDATION

- INDICATES CHANGE IN FLOOR ELEVATION
- INDICATES CONCRETE WALL
- INDICATES CONCRETE FOOTING
- INDICATES STEPPED FOOTING PER TYP. DETAIL
- INDICATES 24" THICKENED AT FOUNDATION SECTION



LEGEND

	SITE CONCRETE
	PLANTER AREA BY OTHERS
	RETAINING WALL
	POOL
	BASEMENT WALL
	PROPERTY LINE/RIGHT OF WAY
	AREA DRAIN

ESTIMATED EARTHWORK QUANTITIES

CUT:	2400 CUBIC YARDS
FILL:	0 CUBIC YARDS
BULKING (20%):	480 CUBIC YARDS
NET (CUT/FILL):	2880 CUBIC YARDS (EXPORT)

- EARTHWORK CALCULATION NOTES:**
- THE ESTIMATED QUANTITIES PROVIDED ABOVE ARE TO BE USED FOR JURISDICTIONAL PLAN CHECKING AND PERMITTING PURPOSES ONLY.
 - ESTIMATED EARTHWORK ABOVE IS BASED ON DESIGN FINISH GRADES TO EXISTING GRADES AND/OR CONTOURS AS PROVIDED ON THE BASE SURVEY. THE ESTIMATED EARTHWORK DOES NOT ACCOUNT FOR THE THICKNESS OF PAVEMENTS, FOUNDATIONS AND SLABS ON GRADE, FOOTINGS, CLEARING AND GRUBBING, OVER EXCAVATION AND RECOMPACTION, AND CONSTRUCTION MEANS AND METHODS.
 - THE ESTIMATED EARTHWORK QUANTITIES DO NOT INCLUDE SHRINKAGE AND/OR EXPANSION FACTORS DUE TO COMPACTION OR OVER EXCAVATION QUANTITIES.
 - THE CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES NECESSARY FOR HIS BID AND WORK.
 - ESTIMATED EARTHWORK QUANTITIES ABOVE ASSUME THAT ALL ONSITE MATERIALS ARE SUITABLE FOR BACKFILLING. HOWEVER, ACTUAL EXISTING ONSITE MATERIALS AND IMPORTED MATERIALS MUST FIRST BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION, REMOVAL, OR REPLACEMENT.

LANDSCAPE CONSTRUCTION DOCUMENTS

prepared for:

VISTA DEL MAR RESIDENCE

202 W. Manchester Ave.
Playa Del Rey, CA 90293

INDEX

L0.0	TITLE SHEET
L1.0	TREE AND PLANTING DEMOLITION PLAN
L4.0	PLANTING PLAN - GROUND FLOOR
L4.1	PLANTING PLAN - AND LEVEL 3
L4.2	PLANTING DETAILS
L4.3	PLANTING SPECIFICATIONS
L4.4	PLANTING SPECIFICATIONS

1 SHEET INDEX

PROJECT ADDRESS:
202 W. Manchester Ave.
Playa Del Rey, CA 90293

PROJECT DESCRIPTION:
Residential

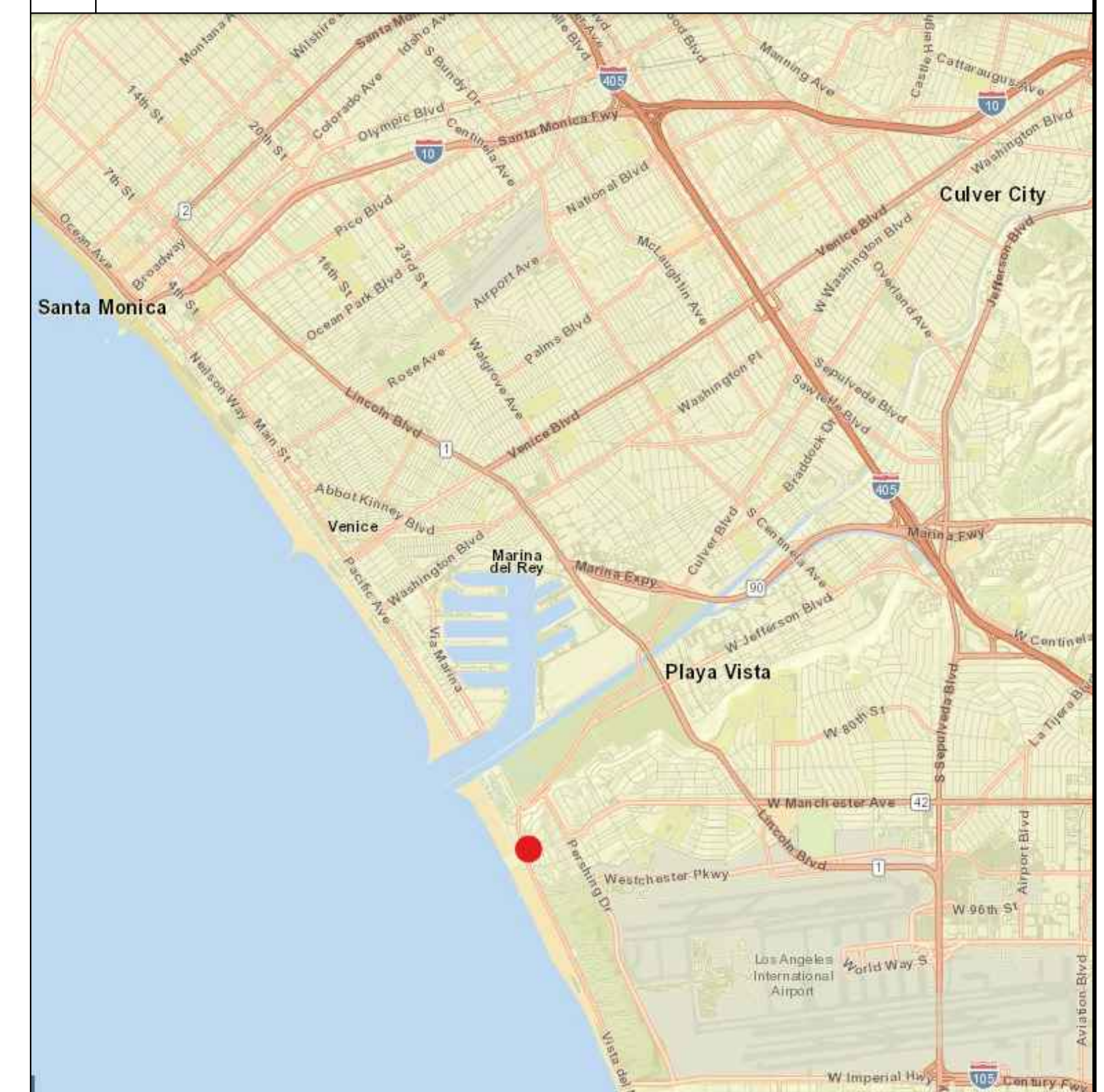
LEGAL DESCRIPTION:

ASSESSOR'S PARCEL #:

ZONE:

LANDSCAPE ARCHITECT:
CHRIS SOSA LANDSCAPE ARCHITECTURE
8581 Santa Monica Blvd., Ste 255
West Hollywood, CA 90069
415.310.5770 TEL
chris@chrissosa.com
www.chrissosa.com

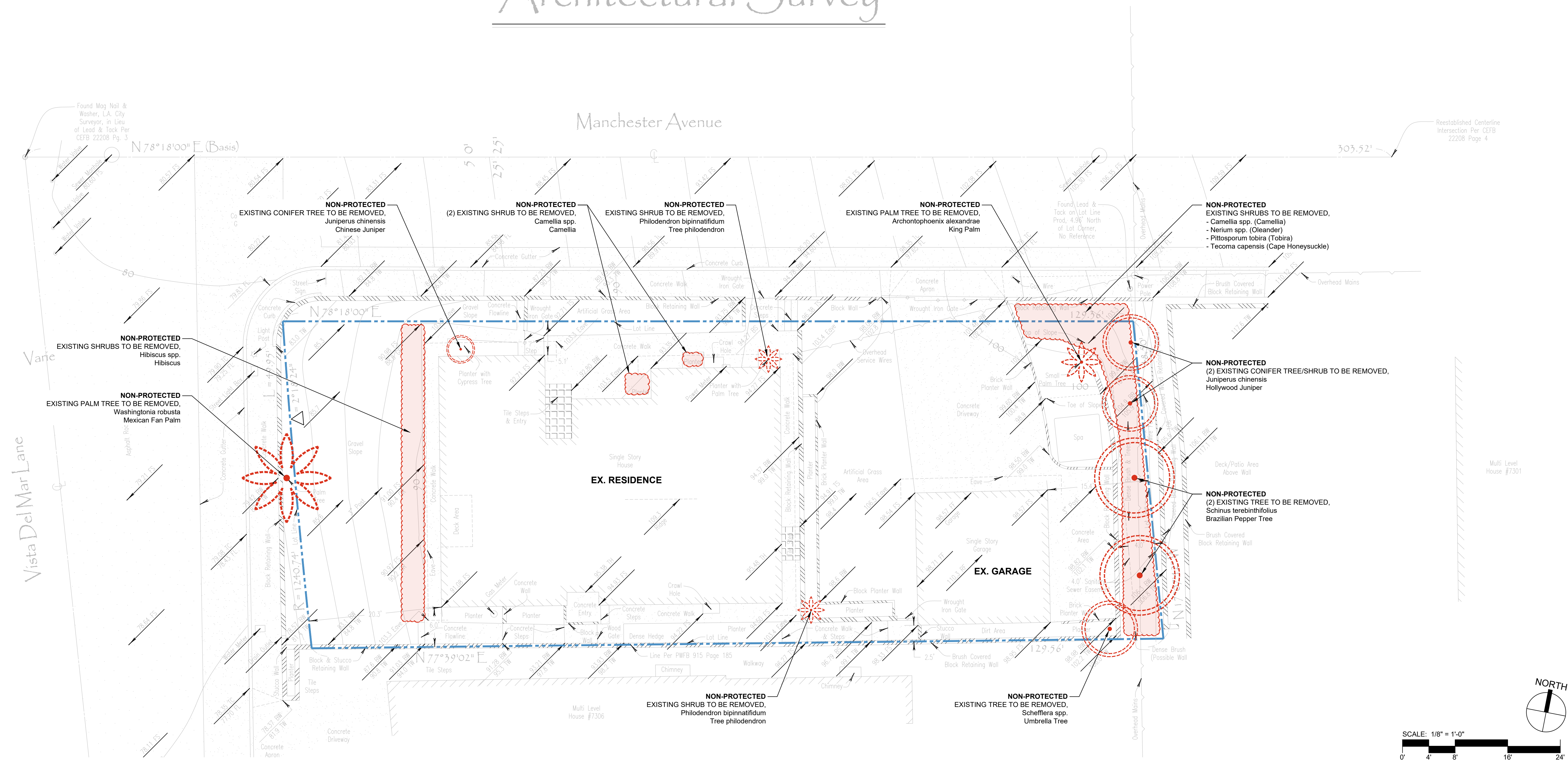
2 PROJECT INFORMATION



3 LOCATION MAP



Architectural Survey



1 TREE AND PLANTING DEMOLITION PLAN

Scale: 1/8" = 1'-0"

- CONTRACTOR SHALL INSPECT THE SITE AND BE FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO SUBMITTING HIS/HER BID.
- ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY, AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE SITE.
- THE CONTRACTOR SHALL VERIFY ALL PROPERTY AND LOT LINES, EXISTING CONDITIONS, UTILITIES, GRADES AND DIMENSIONS PRIOR TO THE START OF ANY WORK AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT BEFORE PROCEEDING. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- ALL WORK TO BE PERFORMED SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND ORDINANCES BY AN EXPERIENCED WORKMAN AND A LICENSED LANDSCAPE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE ALL WORK TO PREVENT CONFLICTS BETWEEN TRADES AND SHALL REPORT ALL CONFLICTS OR INCONGRUITIES BETWEEN NEW IMPROVEMENTS AND EXISTING FACILITIES TO LANDSCAPE ARCHITECT. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL UTILITIES AND STRUCTURES TO REMAIN, AND TO REPAIR OR REPLACE AT HIS/HER OWN EXPENSE ANY UTILITY LINES OR STRUCTURES DAMAGED DURING CONSTRUCTION WHETHER SHOWN OR NOT.
- ALL PIPING, SLEEVE CONDUIT, ETC. SHALL BE INSTALLED PRIOR TO INSTALLATION OF CONSTRUCTION ITEMS.
- IF ANY EXISTING TREES AND/OR SHRUBS TO REMAIN MAY BE AFFECTED BY CONSTRUCTION, CONTRACTOR MUST NOTIFY LANDSCAPE ARCHITECT.
- THE SITE SHALL BE KEPT IN A NEAT, CLEAN AND ORDERLY MANNER DURING INSTALLATION AND ALL REFUSE SHALL BE REMOVED FROM THE SITE ON COMPLETION OF THE PROJECT.

SYMBOL	DESCRIPTION	NOTES
	EXISTING NON-PROTECTED TREE TO BE REMOVED	
	EXISTING NON-PROTECTED TREE TO BE REMOVED	
	EXISTING NON-PROTECTED SHRUB/PLANTING TO BE REMOVED	

3 LANDSCAPE DEMOLITION NOTES

Scale: N/A

2 LANDSCAPE DEMOLITION LEGEND

Scale: N/A

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www.chrisosca.com

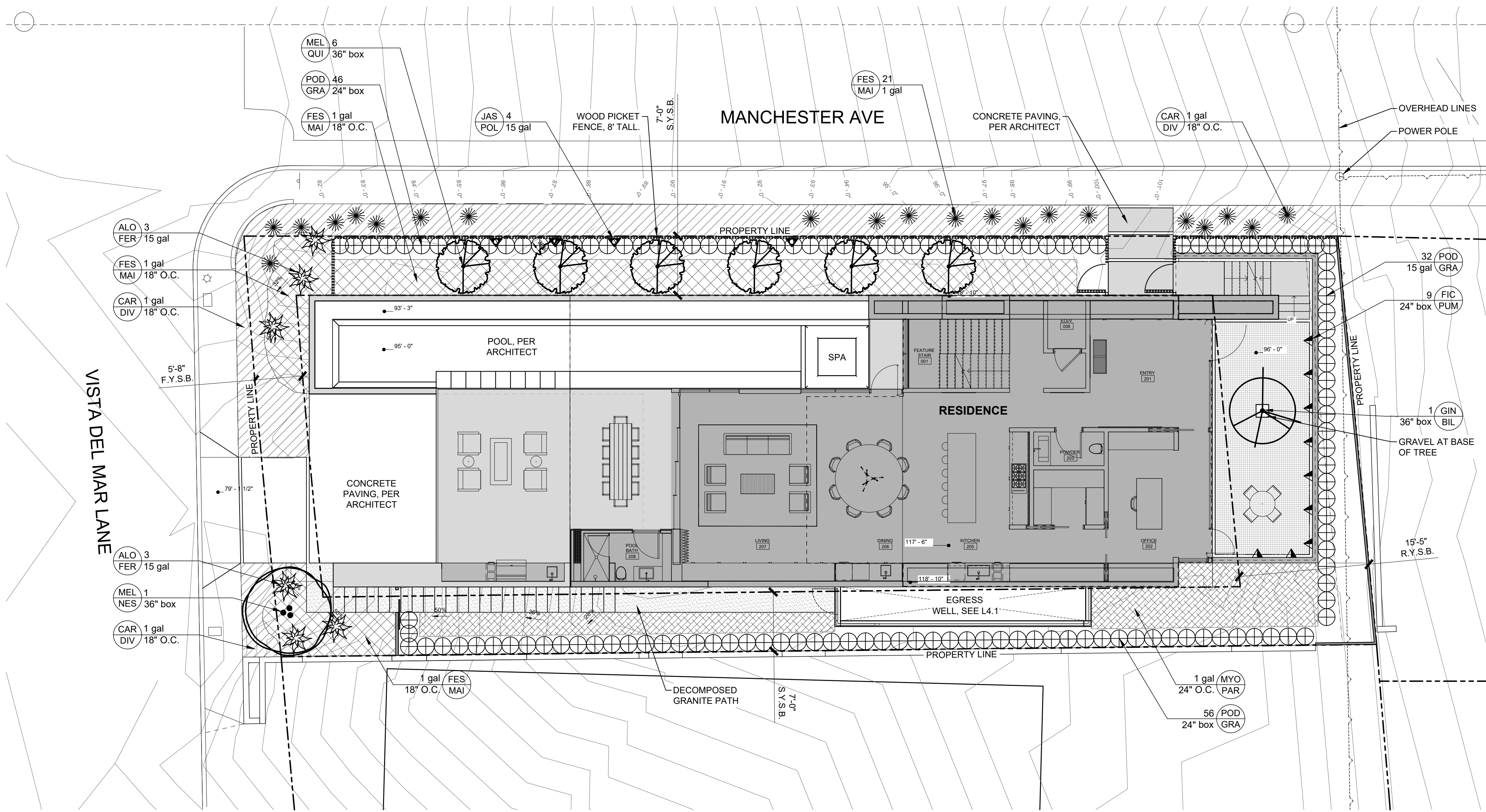
Chris OSCA
LANDSCAPE ARCHITECTURE

LANDSCAPE ARCHITECT
PAUL SANCHEZ
10/13/22
STATE OF CALIFORNIA

VISTA DEL MAR RESIDENCE
202 W. Manchester Ave.
Playa Del Rey, CA 90293

TREE AND PLANTING DEMOLITION PLAN

L1.0



WUCOLS PLANT FACTORS

VL (VERY LOW)	<0.1
L (LOW)	0.1 - 0.3
M (MEDIUM)	0.4 - 0.6
H (HIGH)	0.7 - 0.9
POOL (HIGH)	1.0

TREES							
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	HEIGHT@ MATURITY	WUCOLS
	GIN BIL	GINKGO BILOBA	MAIDENHAIR TREE	1	36" BOX	10-25 FEET	M
	MEL NES	MELALEUCA NESOPHILA	PINK MELALEUCA	1	36" BOX	15-35 FEET	L
	MEL QUI	MELALEUCA QUINQUENERVIA	CAJEPUT TREE	6	36" BOX	15-35 FEET	L

SHRUBS, PERENNIALS AND SUCCULENTS							
	ALO FER	ALOE FEROX	RED ALOE	6	15 GALLON	4-5 H X 3-5 W	L
	CAR DIV	CAREX DIVULSA	BERKELEY SEDGE	250	1 GALLON @ 18" O.C.	2 H X 2 W	L
	FES MAI	FESTUCA MAIREI	ATLAS FESCUE	210	1 GALLON @ 18" O.C.	3-4 H X 3-4 W	L
	FES MAI	FESTUCA MAIREI	ATLAS FESCUE	21	1 GALLON @ 18" O.C.	3-4 H X 3-4 W	L
	FIC PUM	FICUS PUMILA	CREEPING FIG	9	1 GALLON 5 GALLON	-	M
	JAS POL	JASMINUM POLYANTHUM	PINK JASMINE	4	15 GALLON	-	M
	MYO PAR	MYOPORUM PARVIFOLIUM	MYOPORUM	65	1 GALLON @ 24" O.C.	1 H X 8 W	L
	POD GRA	PODOCARPUS GRACILIOR	FERN PINE	134	24" BOX	6-12 H	M
	PHY NIG	PHYLLOSTACHYS NIGRA	BLACK BAMBOO	6	24" BOX	20 H X 3 W	M

2 PLANTING LEGEND Scale: N/A

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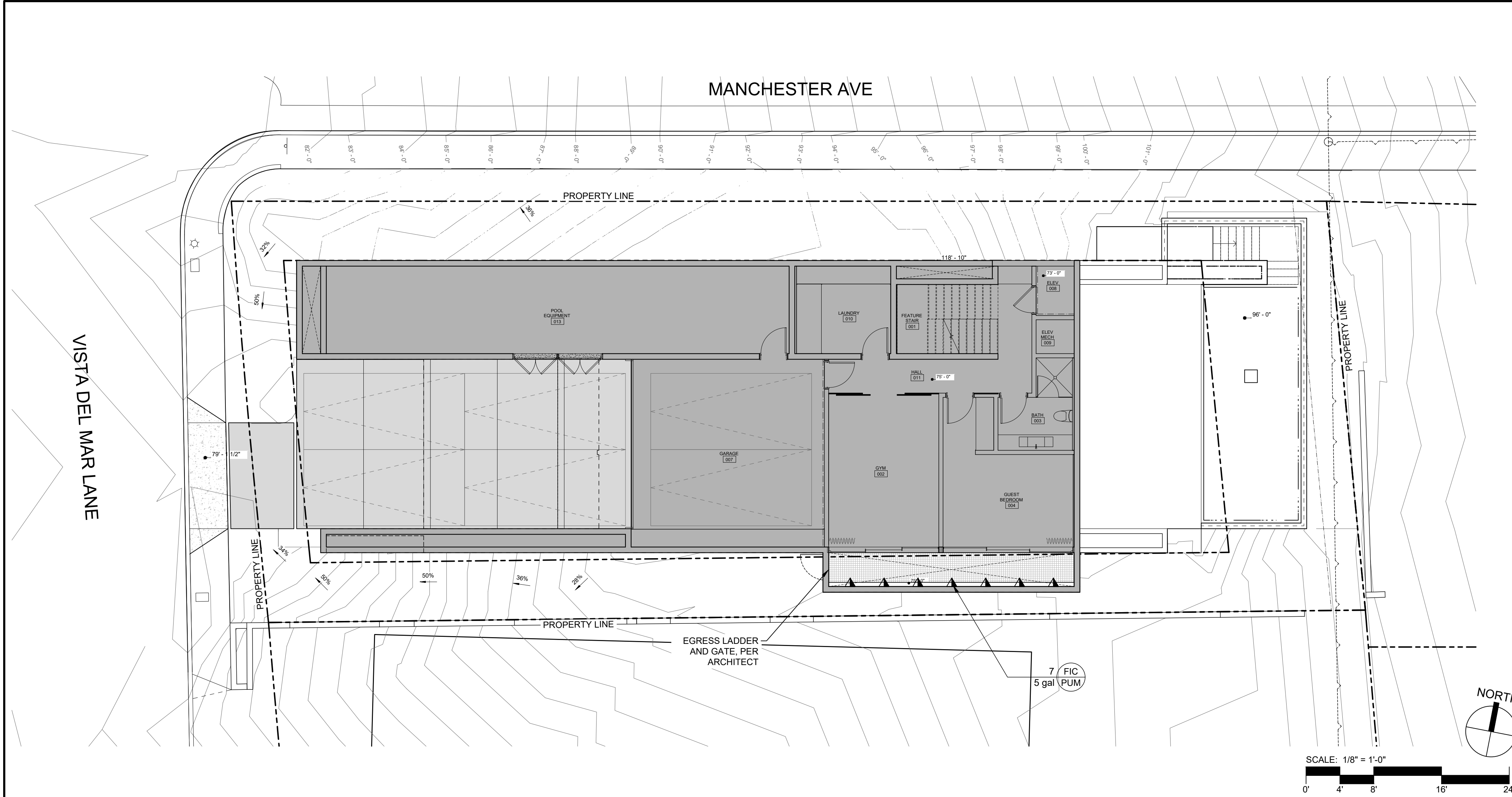
Chris Sosa
LANDSCAPE ARCHITECT
STATE OF CALIFORNIA
19/03
10/04

VISTA DEL MAR RESIDENCE
202 W. Manchester Ave.
Playa Del Rey, CA 90293

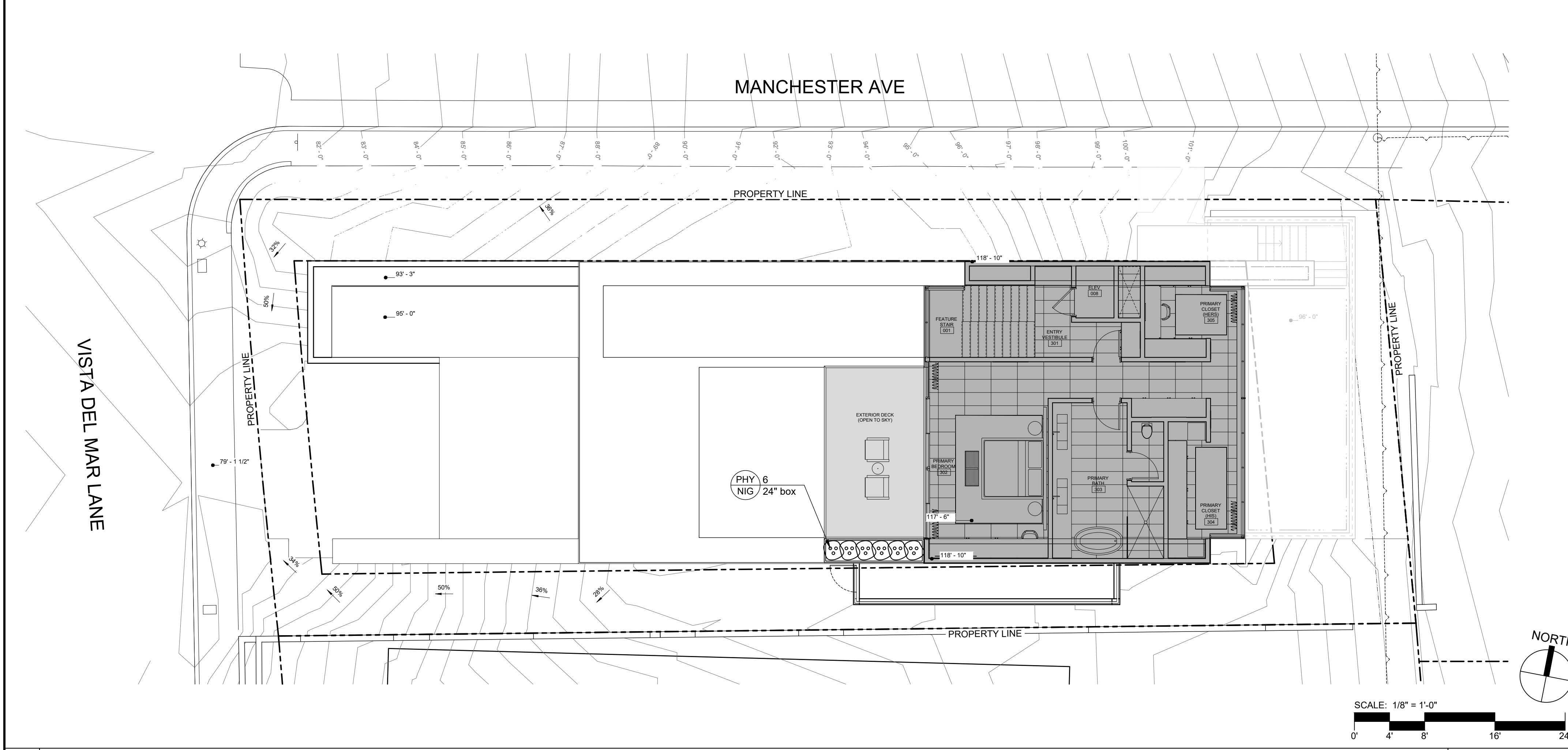
CDP-LA Submittal
04/07/2022

PLANTING PLAN - GROUND FLOOR

L4.0



1 PLANTING PLAN - LEVEL 0 Scale: 1/8" = 1'-0"



2 PLANTING PLAN - LEVEL 3 Scale: 1/8" = 1'-0"

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	FES MAI	FESTUCA MAIREI	ATLAS FESCUE	21	1 GALLON @ 18" O.C.	3-4 H X 3-4 W	L
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4 PLANTING NOTES Scale: N/A

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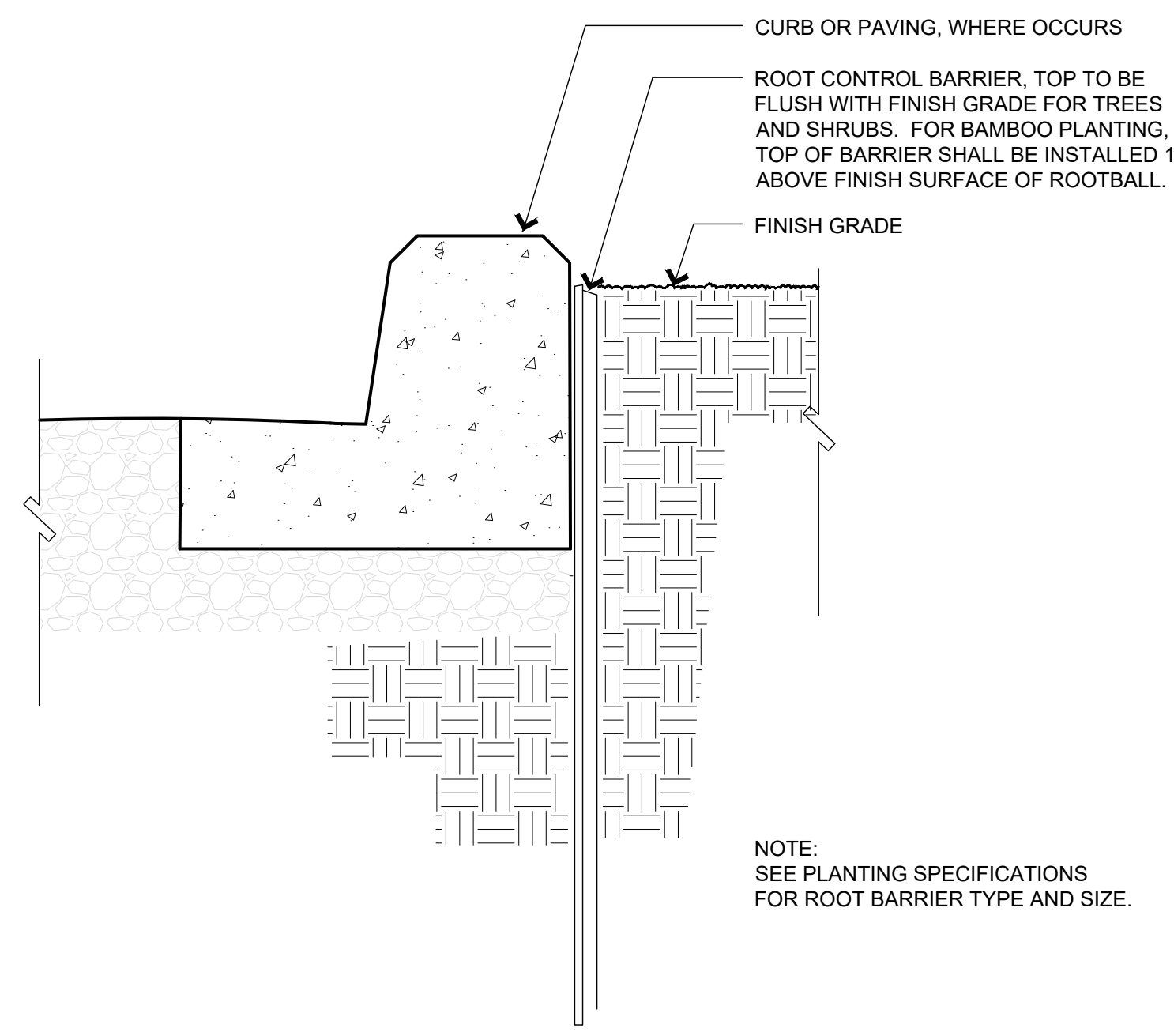
Chris Sosa
landscape architecture

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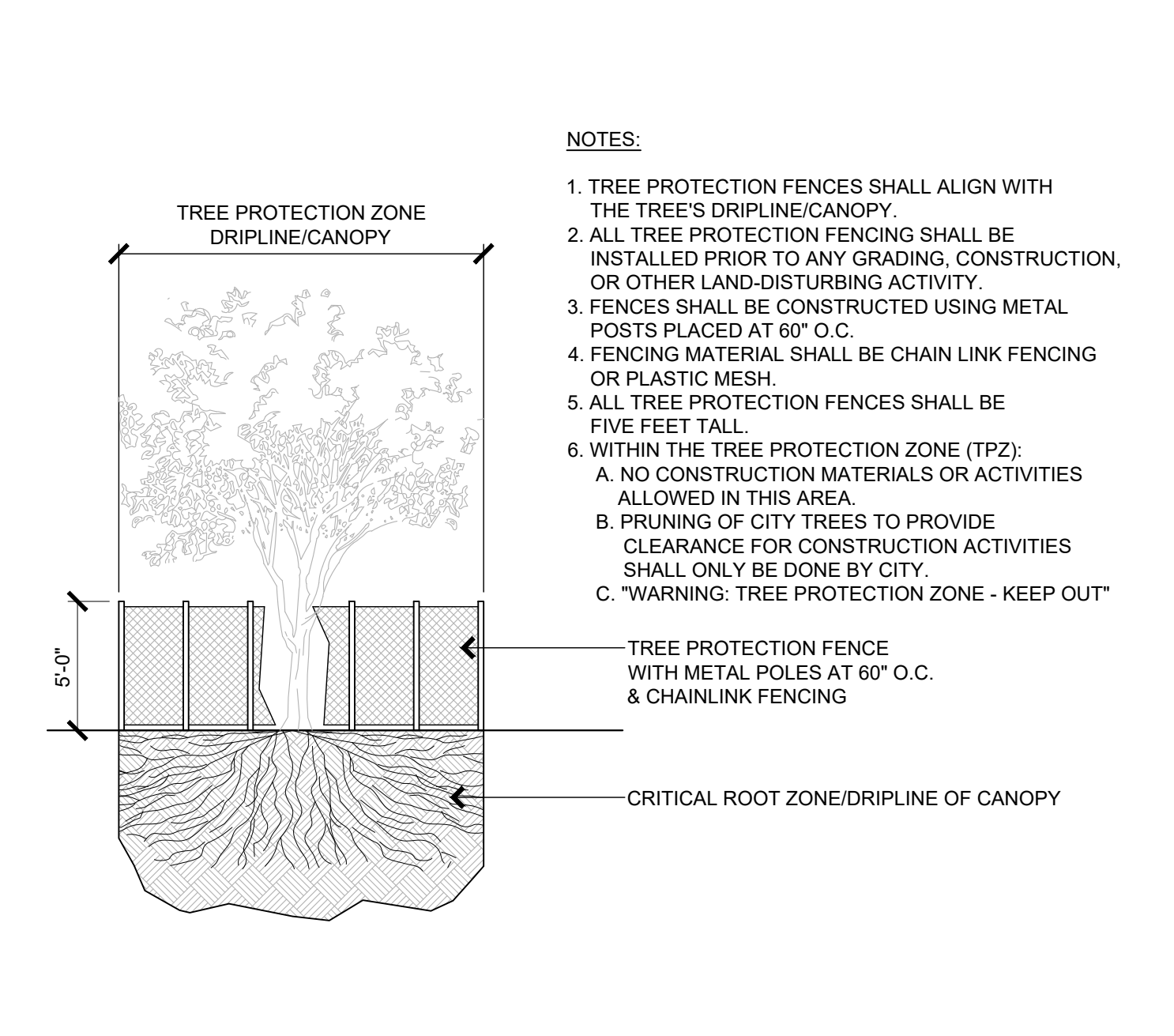
CDP-LA Submittal
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PLANTING PLAN -
LEVEL 0 AND
LEVEL 3

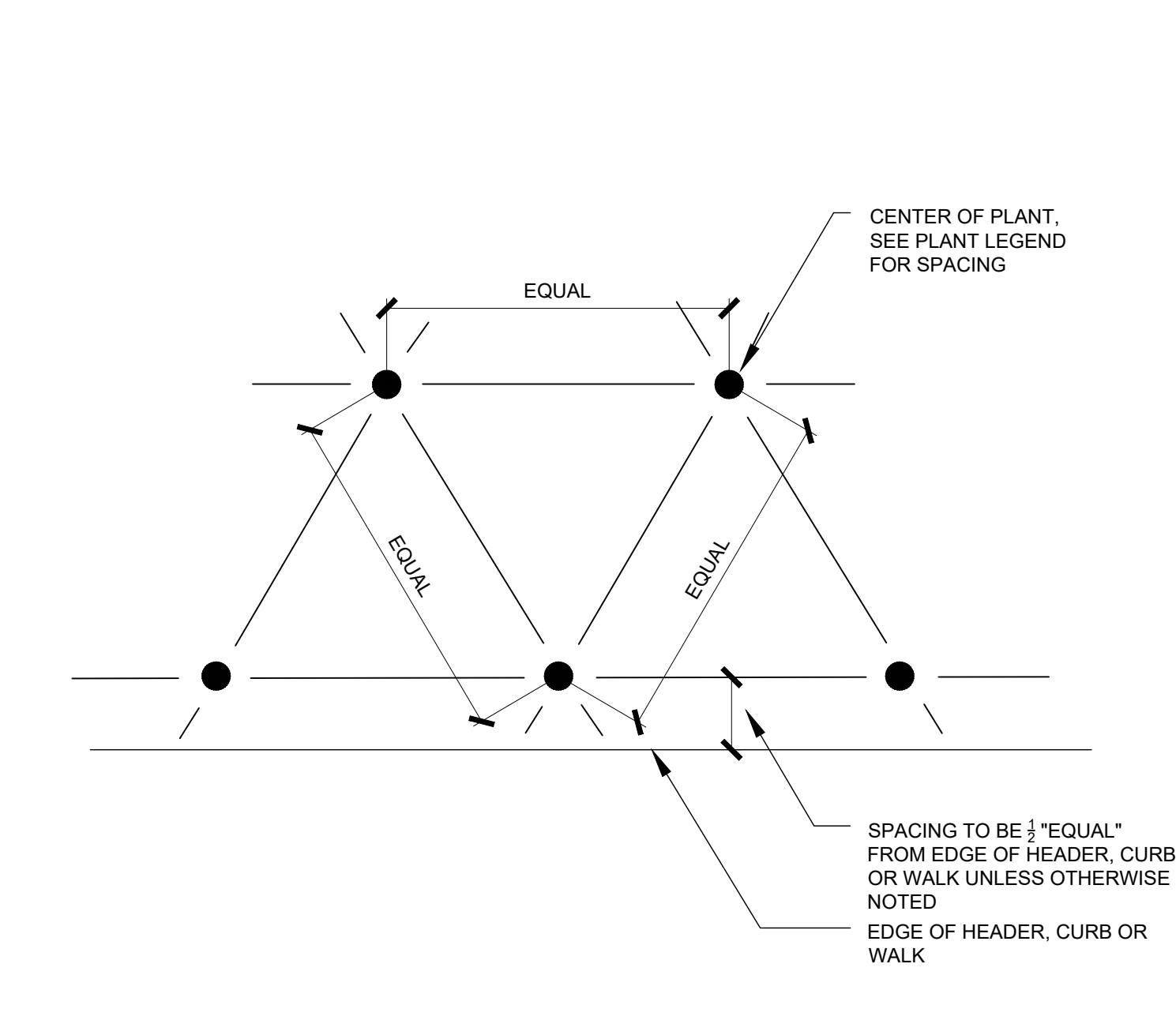
L4.1



7 ROOT BARRIER Scale: N.T.S.



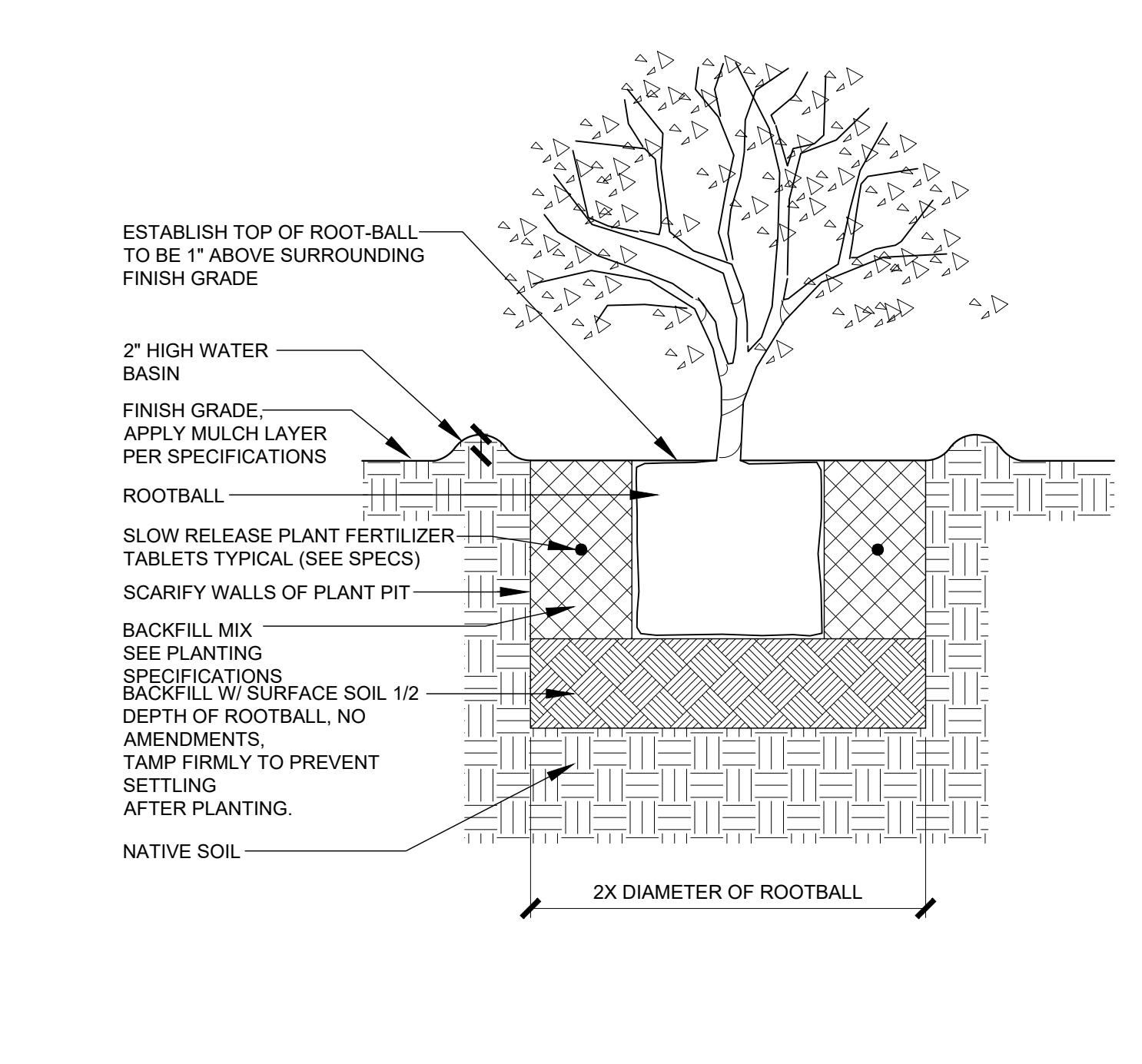
4 TREE PROTECTION Scale: N.T.S.



1 PLANT SPACING Scale: N.T.S.



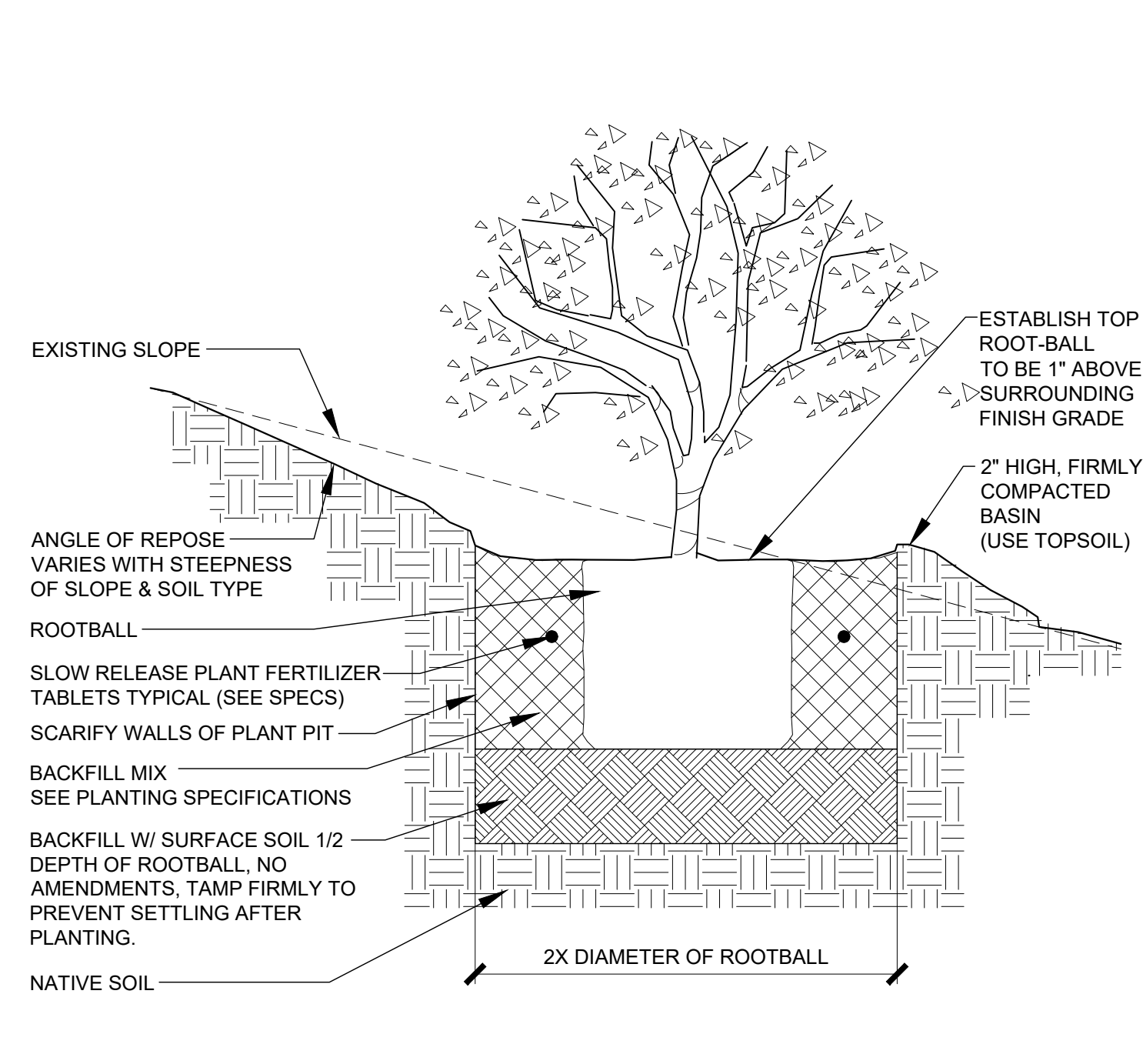
5 SHRUB PLANTING Scale: N.T.S.



2 TREE PLANTING Scale: N.T.S.



6 SHRUB PLANTING - SLOPE Scale: N.T.S.



3 TREE PLANTING - SLOPE Scale: N.T.S.

PLANTING

PART 1 GENERAL

1.01 SUMMARY: Section includes providing planting, including complete maintenance through Final Acceptance and warranty replacement.

1.02 DEFINITIONS: Finish Grade is top of soil surface after settling.

1.03 SUBMITTALS - Submit 5 copies to Owner's Representative.

A. Product data: Submit complete materials list of items to be provided under this Section, including source, size and quantity. Include manufacturer's literature.

B. Samples: 1/2 cubic foot of wood bark mulch.

C. Test reports: If not already provided in drawings, submit results of the following tests. Test reports shall be test number specified, as provided by soil and plant Laboratory, or accepted equal.

- 1. Existing site soil: Provide Test "A05 -2 Complete" for agricultural suitability, fertility, particle size analysis; including recommendations for soil amendment and backfilling, and fertilization during Maintenance Period. Number of samples to be as recommended by testing laboratory, minimum 2 samples.
2. Import soil: Submit test reports of representative sample prior to delivery and for every 100 yards delivered to the site. Test A05, for agricultural suitability, fertility, particle size analysis; including recommendations for soil amendments and fertilization during Maintenance Period.
3. All other fertilizers and amendments: For standard products, submit manufacturer's analysis. For all other products, submit analysis by testing laboratory.
4. Submit test results for site soil, import soil and organic amendment together, as a package.

D. Herbicides: Submit Manufacturer's analysis. Schedule for application of herbicides shall be accepted by Owner's Representative.

E. Record Drawings: Prepare as-built record plans indicating plant type, quantity, size and location. Submit to Owner's Representative within 10 working days of start of Maintenance Period.

1.04 QUALITY ASSURANCE

A. Testing laboratory: Recognized laboratory for soil and plant disease analysis for ornamental horticulture, approved by Owner's Representative. Acceptable laboratory: Soil and Plant Laboratory, Inc., Anaheim, CA (714) 282-8777, www.soilandplantlaboratory.com.

B. Reference Standards: Comply with applicable provisions of the following:

- 1. Nomenclature: 'Sunset Western Garden Book', 2012 edition or later; Time Home Entertainment, Inc., New York, NY.
2. Plant material standards: 'American Standard for Nursery Stock', 1990 edition; American Association of Nurserymen.
3. Staking and guying procedures: 'Staking Landscape Trees', University of California Extension, Publication #2576.
4. Pruning procedures: 'Tree Pruning Guidelines', 1995 edition; International Society of Arboriculture, Savoy, IL.
5. California Department of Transportation (Cal Trans), Standard Specifications, 1992 Edition. Where referenced therein.

1.05 DELIVERY, STORAGE AND HANDLING

A. Fertilizers, amendments and other materials: Store protected from damage. Protect site surfaces.

B. Plants: Maintain plant material in healthy growing condition at all times. Protect plants from sun and drying winds. Plants that cannot be planted immediately upon delivery shall be kept in the shade, watered and protected. Owner's Representative reserves the right to reject plants which decline in quality after delivery to site.

1.06 WARRANTY

A. Provide 18 month guarantee for planting work, on Contractor's letterhead:

- 1. Plant material: Warrant that all plant material under this contract will be vigorous, healthy, free from dead or dying branches and branch tips, bearing foliage of normal density and color, and will otherwise comply with these Specifications for a period of 18 months from date of Substantial Completion.
2. Replacements: Without cost to Owner, in a timely manner and as directed by the Owner's Representative, will replace all plants not meeting the requirements above during and at the end of the Warranty Period. Replace plants which are identified, within 3 years, as not being true to name as specified, with the specified plant. Replacements shall closely match adjacent specimens of the same species in size at the time of replacement, and shall comply with all requirements of this specification.

PART 2 PRODUCTS

2.01 PLANTS

A. General: Plants shall be nursery grown in accordance with good horticultural practices under climatic conditions similar to those of project for at least one year unless otherwise accepted by Owner's Representative. Do not prune plants before delivery.

B. Plants shall be compact and symmetrical; sound, healthy and vigorous, well branched and densely foliated when in leaf; free of disease, insect pests, eggs or larvae, and free from physical damage or adverse conditions that would prevent thriving growth. Plants shall be labeled at the supplying nursery with genus, species and variety.

C. Root ball:

- 1. Do not supply bare root ball or burlap stock unless accepted by Owner's Representative.
2. Sizes: As shown on Drawings.
3. Root systems shall be healthy and free from twisting or girdling.
4. Containers: All plant material shall have been grown in the containers in which delivered for at least six months, but not over two years.

2.02 SOIL

A. General: Soil in all planting areas shall be free of rocks over one inch in diameter, sub-soil, refuse, plants or roots, clods, weed, viable weed seeds, sticks, solvents, petroleum products, concrete, base rock or other harmful substances.

B. Imported topsoil: All import soil shall be analyzed for nutrient and soil suitability for specific planting applications by Soil and Plant Laboratory, Inc.

1. Physical properties: USDA sandy loam.

Table with 2 columns: Particle Size Range, Percent. Rows include Coarse sand, Silt plus clay, Silt, Clay, Gravel, Rock, and Organic matter.

2. Chemistry:

Salinity: less than 3.0 mmhos
Sodium absorption: less than 6.0
Boron: Less than 1.0 ppm
pH of saturated paste: 5.5 - 7.5

- 3. Qualitative lime level shall be low in opinion of Testing Laboratory.
4. Fertility characteristics shall be modified by the incorporation of conventional fertilizers to provide fertility levels to sustain normal growth.

2.03 SOIL AMENDMENTS - Refer to project specific recommendations provided by Soil and Plant Laboratory where applicable.

A. Wood residual soil amendment: Nitrogen and Iron stabilized redwood, fir or cedar sawdust, 0 x 1/4 inch.

1. Particle Size (Dry Weight Basis):

Table with 2 columns: Sieve Size, Percent Passing. Rows include 9.51 mm, 6.35 mm, 4.76 mm, 2.38 mm, 1.00 mm, and 500 micron.

- 2. Nitrogen: Minimum 0.4% nitrogen based on dry weight.
3. Salinity: Maximum saturation extract conductivity 4.0 millimhos per cm at 25 degrees centigrade.
4. Iron: Minimum 0.08% dilute acid soluble Fe based on dry weight
5. Organic matter: 220 pounds per cubic yard.

2.04 FERTILIZER - Refer to project specific recommendations provided by Soil and Plant Laboratory where applicable.

A. Fertilizer tablets: 7 gram tablets in the nutrient formulation 12-8-8 Gro-Power, install per manufacturer's recommendations, Gro-Power, Inc., Chino, CA, (909) 393-3744, www.gropower.com, or accepted equal.

B. Commercial Grade Fertilizer:

1. Complete fertilizer: Gro-Power Commercial Fertilizer or Equal. NPK rating: 5-3-1. Gro-Power, Inc., Chino, CA, (909) 393-3744, www.gropower.com, or accepted equal.

C. Potassium sulfate: 0-0-52; manufactured for horticultural use.

D. Iron sulfate: Ferric sulfate, containing minimum 20% iron expressed as elemental. Caution: Iron sulfate will stain concrete, granite, stucco and tile surfaces. Avoid contact between site surfaces and soil surfaces and soil containing iron sulfate. After iron sulfate application, broom or air blow surfaces free of material before any water application, including impending rains.

E. Soil sulfur: manufactured for horticultural use.

F. Agricultural gypsum: manufactured for horticultural use.

2.05 OTHER MATERIALS

A. General: All materials supplied shall be free of harmful substances.

B. Mulch: Aguinaga Forest Floor Organic Mulch, (877) OC-MULCH, www.aguinagagreen.com, or equal. 'Gorilla hair' mulch is not acceptable.

C. Staking materials:

- 1. Wooden stakes: Lodge pole pine, 10-foot length, 2-inch diameter, with 10-inch tapered driving point and chamfered top.
2. Ties: Galvanized steel ties, 20 gauge, twisted steel.
3. Guy cables: Galvanized steel cables, 5-strand, 3/16" diameter cable with zinc coated turnbuckles, 3" long minimum with (2) 3/8" galvanized eye bolts or larger as necessary for large specimen trees.

D. Water: Potable.

E. Herbicide: California State licensed Pest Control Operator shall identify weeds and propose product, method and rate of application for review and approval by owner. Provide manufacturer's literature.

F. Anti-desiccant: Furnish evidence that material can be used safely on plant materials specified.

G. Tree Root Barriers: Polypropylene, 0.08 inch minimum thickness, ribbed interlocking panels. 24 inch Universal Barriers (UB24-2) as manufactured by Deep Root Green Infrastructure, LLC, San Francisco, CA, (800) 458-7668, www.deeproot.com, or accepted equal.

H. Erosion control fabric: EcoLife Photo-degradable Fiber Rolls by American Fiber Rolls, (866) 446-2594, www.americanfiberrolls.com, or accepted equal.

- 1. Staples: 6" x 1" x 6" 11 GA, install per manufacturer's recommendations.

PART 3

3.01 FIELD QUALITY CONTROL

A. Progress observations: In addition to installation observations specified below, periodic progress observations may be made by the Owner's Representative.

B. Installation Observations: Request at least 3 days in advance:

- 1. Observation of finish grading.
2. Observation of plant material upon delivery to site.
3. Observation of layout and plant material at time of planting.

C. Maintenance Observations: For the purpose of establishing the start of Maintenance period and observing completion of Work of this section through Final Acceptance. Request at least 7 days in advance:

- 1. Observation for Maintenance commencement.
2. Observation for Final Acceptance.

3.02 ORDERING, REVIEW AND ACCEPTANCE OF PLANT MATERIAL

A. Ordering: 90 days before the start of planting work, submit written certification to Owner's Representative of the quantity, species, and source of plant material ordered. Owner's Representative reserves the right to review plant material before shipment.

B. Owner's Representative will review plant material at project site upon delivery. Arrange material so that canopies or branch tips are not touching. Do not install material which has not been reviewed and accepted by the Owner's Representative.

C. Arrange and pay for permits and inspections required for delivery of plant material.

3.03 SITE PREPARATION

A. Herbicides (if accepted):

- 1. Apply site preparation herbicide in accordance with manufacturer's instructions to all areas with weed cover, both subsoil and import soil.
2. After 10 days, mow weeds and remove clippings from site.

B. Review planting areas for presence of rock, chemicals or other harmful substances. Obtain Owner's Representative's instructions before proceeding with work.

C. Owner's Representative may require removal of site soil and replacement with import topsoil if site soil is not acceptable for use.

D. Thoroughly Scarify all planting areas by cross-ripping or other approved means to a depth of 8 inches. Do not scarify within drip-line of existing trees.

3.04 IMPORT TOPSOIL

A. Provide import topsoil where shown, where site topsoil is not accepted for use, or where additional soil is required to achieve finish grades shown.

B. After scarification of subsoil, place 3 inch layer of approved import soil and thoroughly roto-till into the top 3 inches of subsoil.

C. Place remaining soil to depth required, in maximum 8 inch lifts.

D. Thoroughly settle each lift of soil by watering, rolling or other means as determined by Contractor.

3.05 SOIL AMENDMENTS - Refer to project specific recommendations provided by Soil and Plant Laboratory where applicable.

A. Roto-till planting areas to 6 inch depth before spreading amendments. Loosen soil and incorporate amendments by hand within drip-line of existing trees.

B. Spread evenly and thoroughly roto-till to 6 inch depth the following amendments per 1,000 square feet:

Table with 2 columns: Amendment amount, Amendment type. Rows include 6 cubic yards Wood residual soil amendment, 25 pounds 6-20-20 commercial fertilizer, 5 pounds Potassium sulfate, and 10 pounds Soil sulfur.

C. A bulletin may be issued upon receipt of test results if change in amendment program is recommended by testing laboratory.

3.06 FINISH GRADING

A. Provide positive surface drainage of all planted areas. Notify Owner's Representative of obstructions, discrepancies or other conditions which prevent positive surface drainage before proceeding with work.

B. After amendment and settlement of soil, grade planting areas to required finish grades. Surfaces shall be smooth and free of depressions or abrupt transitions. Owner's Representative reserves the right to make minor adjustments in finish grades as work progresses.

C. Finish grades after settling shall be 1-1/2" below adjacent walls and walks, unless otherwise shown. Owner's Representative will review finish grades before planting begins.

3.07 HANDLING OF PLANTS

A. General: Prevent damage to plant material. Lift and handle plants only from bottom of root-ball.

B. Access: Inspect project site and become familiar with the accessing requirements and restrictions. At time of submitting bid, provide written notice of any conditions which would prevent installation of the specified plant material.

3.08 LAYOUT

A. General: Owner's Representative will review, for conformance to design intent, locations of all plants in field prior to planting. Notify Owner's Representative and schedule layout review sufficiently in advance of planting to allow for review and adjustment without disrupting construction schedule. Owner's Representative reserves the right to make minor adjustments in the layout of all plant material; adjust irrigation as necessary.

B. Trees: Stake layout of trees in field before installing irrigation. Adjust as directed by Owner's Representative.

3.09 EXCAVATION OF PLANT PITS

A. Excavate plant pits to 2 times root-ball width. Scarify sides and bottom of pit to eliminate glazed surfaces. Backfill bottom of pit with un-amended site soil, if required, so that crown of plant will be at specified height at end of maintenance period. Soil under root-ball shall be very firmly compacted to prevent settlement.

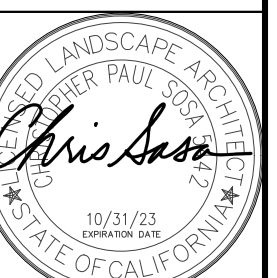
B. Obstructions: If rocks, underground construction work, tree roots or other unknown obstructions are encountered in the excavation of plant holes, alternate locations may be selected by the Owner's Representative. Report all such conditions in writing to the Owner's Representative. Where locations cannot be changed, submit a written proposal and cost estimate for removing obstructions to a depth of not less than 6 inches below the required hole depth. Obtain Owner's Representative's instructions prior to proceeding with the work affected.

3.10 DETRIMENTAL SOILS AND DRAINAGE

A. Prior to planting, test drain all planting areas as follows:

- 1. Plants pits: Fill with 12 inches of water. Water shall drain completely in 48 hours.
2. Plant beds: Irrigate until soil is saturated. Saturated condition shall not remain after 24 hours.

B. Failure of drainage test: Report in writing to Owner's Representative all areas not passing these tests, and all soil conditions that Contractor considers detrimental to growth of plant material. State condition, and proposal and cost estimate for correcting the condition. Obtain Owner's Representative's instructions prior to proceeding with work affected. Repeat drainage testing and correction of conditions until tests are passed. Failure to perform drainage tests, or to notify Owner's Representative in writing of conditions specified above, renders Contractor responsible for all plant failure that occurs as a result of inadequate drainage or detrimental soil conditions, as determined by Owner's Representative.



3.11 PLANTING

- A. General: Do not plant material that has not been reviewed by Owner's Representative upon delivery to the project site, or that has been rejected for any reason. Do not plant under unfavorable weather conditions.
- B. Root-balls: Do not install plants with damaged root-balls.
Shrubs and ground-covers: If root-bound, score with sharp knife, making 4 cuts, and gently spread lower 1/3 of root-ball.
Trees: If root-bound, gently roughen sides of root-ball to a depth of 1 to 2 inches to loosen and spread encircling roots. Cut roots which are too stiff to untangle.
- C. Backfilling:
 - 1. In top 12 inches of plant pits, use backfill mix as follows, thoroughly blended.

1/3 cubic yard	nitrogen and iron fortified organic amendment
2/3 cubic yard	pulverized topsoil
8 pounds	14-14-14 wildlife repellent granular fertilizer
1 1/2 pounds	iron sulfate
1/2 pound	potassium sulfate (0-0-52)
 - a. Below 12 inch depth, omit organic soil amendment.
 - 2. Owner's Representative may require substitution of import topsoil for site soil where site topsoil is not accepted for use, and changes in backfill mix as recommended by Testing Agency.
- D. Fertilizer Tablets: Place wildlife repellent fertilizer tablets evenly distributed in plant pit when backfilled 2/3, according to the following schedule:

1 gallon	(2) 7 gram tablet
5 gallon	(6) 7 gram tablet
15 gallon	(10) 7 gram tablet
24" Box	(14) 7 gram tablet
36" Box	(20) 7 gram tablet
- E. Settlement: Reset plants which shift or settle before end of maintenance period. Crowns of trees shall be at the following minimum 2" above the surrounding finish grade at end of maintenance period.
- F. Mulch all planting areas with 3 inch deep layer of wood bark mulch. Do not pile mulch around crown of plants.
- G. Form a watering basin for each plant. Thoroughly water all plants immediately after planting, eliminating air pockets and prevent erosion.
- H. Root barriers: Install as shown and as recommended by manufacturer on all trees within 5 feet of paving, curb, or wall, and continuous at perimeter of street tree wells.

3.12 STAKING

- A. General: Stake trees immediately after planting. Make modifications to staking procedures as required to accommodate field conditions, at no additional cost to Owner.
 - 1. Allow 1 to 3 inches sway in trunk or branches; do not pull tight.
- B. Staking: Stake trees with two stakes as shown in detail. Fasten with ties as specified in Section 2.05.C.

3.13 PRUNING

- A. Prune only as directed; according to reference standards.
- B. Prune trees which overhang paving to maintain minimum clearance of 80 inches between lower branches and pedestrian traffic way.

3.14 GROUND COVER PLANTING

- A. Place and amend soil and do all work to provide finish grades as shown. Provide pre-emergent weed control per manufacturer's recommendations. Install 3" layer wood bark mulch.
- B. Plant groundcover plants through erosion control fabric and wood bark mulch at the specified triangular spacing.

3.15 EROSION CONTROL FABRIC

- A. General: Completely cover all areas with a slope of 2:1 or greater.
- B. Avoid unnecessary traffic across mesh.
- C. Installation:
 - 1. According to manufacturer's recommendations.
 - 2. Install fabric rolls without stretching, parallel to direction of flow.
 - 3. Overlap side edges minimum 4 inches, ends minimum 8 inches.
 - 4. Lap upper edges over lower edges.
 - 5. Check slots: Place ends at top and bottom of slope in 6 inch deep check slot, firmly backfilled.
 - 6. Staple ends 6 inches on center; side edges and center of each roll 2 feet on center.
 - 7. Roll fabric covered area after stapling.
 - 8. Cover edges of fabric covered area with 1 inch layer loose topsoil. Cover entire fabric area with 1 inch layer wood bark mulch.
 - 9. Plant groundcover through fabric and mulch.

3.16 MAINTENANCE

- A. General: Maintain all plants and planting areas from time of delivery, through installation and Maintenance period, until Final Acceptance.
- B. Schedule: Submit proposed maintenance work to Owner's Representative in writing for review at least 30 days prior to commencement of maintenance work. Maintenance work shall be done at times accepted by the Owner.
- C. Maintenance Procedures:
 - 1. General: Maintenance of new planting includes, but is not limited to: Watering, cultivating, fertilizing, weeding, mulching, re-staking, resetting plants to proper grades or upright positions; restoring watering basins, removal of dead flowers and broken twigs; pest, disease and weed control; erosion control; restoring finish grades and accepted and tested imported topsoil; taking precautions as necessary to prevent sun-scald damage. Remove nursery tags and repair mulch 10 days before Final Observation.
 - 2. Protection: Protect planting areas and plants against damage until Final Acceptance. Maintenance also includes temporary fences, barriers and signs as required for protection. Treat or replace damaged plants as directed by Owner's Representative at no additional cost to Owner.
 - 3. Fertilization: Apply potassium sulfate and 16-6-8 fertilizer at the rate of 6 pounds each per 1000 square feet, 30 days after installation, and one (min.) application at end of maintenance period. Refer to project specific recommendations provided by Soil and Plant Laboratory where applicable.
 - 4. Weed control:
 - a. Keep site free of weeds during maintenance period.
 - b. Identify weeds and apply accepted control methods.
 - c. Herbicides, if used, shall be applied by licensed Pest Control Operator according to manufacturer's recommendations.
- D. Observation of maintenance period commencement: Request after irrigation and Planting is substantially complete. Maintenance Period shall begin upon written notice of acceptance by Owner's Representative and after final inspection on all areas and shall continue for a minimum of 90 days until Final Acceptance. A weekly maintenance schedule submittal is required prior to start of the 90 day period.

3.17 FINAL ACCEPTANCE

- A. General: Work of this section will be accepted when all work has been completed, including maintenance period but not including replacement of plants under guarantee. Before requesting observation for Final Acceptance, submit the following:
 - 1. Record as-built planting plan
 - 2. Supplier invoices and delivery slips for all materials installed.
 - 3. Maintenance schedule.
 - 4. Notify Owner's Representative before Final Acceptance observation of conditions which impede plant establishment and growth.
- B. Deficiencies noted during maintenance period observation which have not been corrected will terminate the Final Acceptance observation and extend the maintenance period by 30 days. Costs associated with additional observations required as a result of Contractor's failure to correct deficiencies shall be borne by Contractor.

END OF SECTION

