

PROJECT

7346 S. RINDGE AVE.
PLAYA DEL REY, CA 90293

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OWNER

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NO.	REVISION/ISSUE	DATE

PROJECT
7346 S. RINDGE AVE.
PLAYA DEL REY, CA 90293

DRAWING TITLE
COVER SHEET

PROJECT	SHEET
DATE	A0.0
SCALE	DRAWN BY:
3/16"=1'-0"	P.A.

BUILDING ANALYSIS

CONSTRUCTION : TYPE V-B
OCCUPANCY GROUP: R-3 / U
GOVERNING BUILDING CODE: LARC 2017 & LABC 2017
LEGAL DESCRIPTION : LOT 22 BLOCK 31
TRACT: TR 8557
LOT AREA: 7,831.7 SQ. FT.
APN# : 4116027018

ZONING : R1-1
(COASTAL ZONE)
STORY: 2-STORY
BUILDING HEIGHT: 45'-0" (MAX. ALLOWED)
45'-0" (PROVIDED)

BUILDING SETBACK: REAR: 55'-4"
SIDE: 7'-0" / 7'-0"
FRONT: 15.63 FT (PREVAILING)
16 FT (PROVIDED)

FLOOR AREA: SCHOOL FEE (EXT. WALLS)	
FIRST FLOOR	2,493 SQ. FT.
SECOND FLOOR	2,330 SQ. FT.
TOTAL	4,823 SQ. FT.
BASEMENT	1,314 SQ. FT.
GARAGE	521 SQ. FT.
ROOF DECK	1,130 SQ. FT.

FLOOR AREA: BUILDING CODE (INT. WALLS)	
FIRST FLOOR	2,327 SQ. FT.
SECOND FLOOR	2,212 SQ. FT.
TOTAL :	4,539 SQ. FT.
BASEMENT	1,170 SQ. FT.
GARAGE	445 SQ. FT.
COVERED PATIO	308 SQ. FT.

SCOPE OF WORK

- * NEW 2 STORY HOUSE WITH ATTACHED GARAGE, BASEMENT & ROOF DECK.
- * NEW 10' HIGH RETAINING WALL (298 LINEAR FEET)
- * BUILDING SHALL BE EQUIPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER IN ACCORDANCE WITH SECTION NFPA13D. (R313, 12.21A17(D))
- * THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION
- * NFPA 13-D AUTOMATIC SPRINKLER THROUGHOUT BUILDING AND ACCESSORY DWELLING UNIT

CONSULTANTS

STRUCTURAL ENGINEER

YUZON & ASSOCIATES
STRUCTURAL ENGINEER
19562 VENTURA BLVD,
TARZANA, CA 91356
(818) 757-1800

OWNER

55 OCEAN VIEW LLC
5455 WILSHIRE BLVD.
LOS ANGELES, CA 90036
SUITE #1811
(323)350-4401

TITLE 24

ENERGLO24
4826 ALLEN COURT
EUREKA, CA 95503
(818)665-6023

DESIGNER

NE DESIGNS, INC.
4926 VAN NUYS BLVD.
SHERMAN OAKS, CA 91403
SUITE A
(818)646-0116

VICINITY MAP





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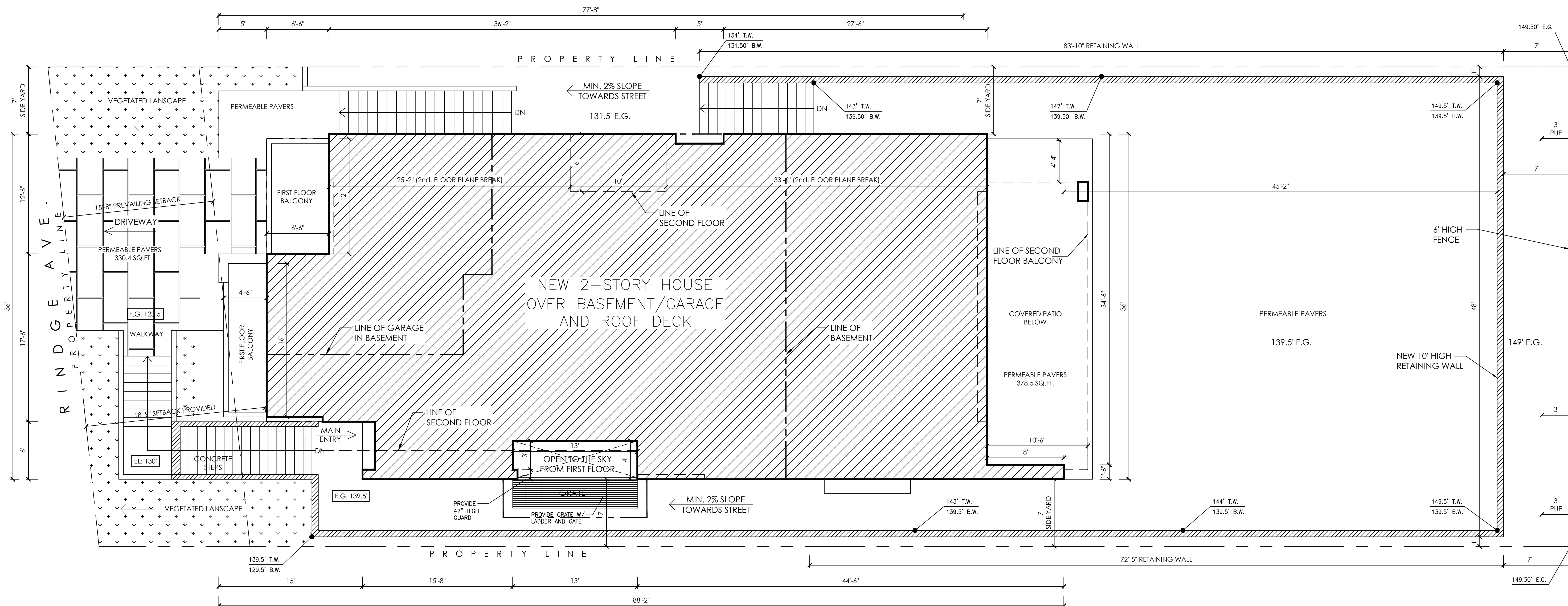
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NO. REVISION/ISSUE DATE

PROJECT
7346 S. RINDGE AVE.
PLAYA DEL REY, CA 90293

DRAWING TITLE
SITE PLAN

PROJECT SHEET
DATE 12.18.18
SCALE 3/16"=1'-0" DRAWN BY: P.A.
A2.0



Legend :

- DRAINAGE ARROW SHOWING DIRECTION OF 2% SLOPE
- GRASS
- PERMEABLE PAVERS
SEE DET-14/AD-1

SITE PLAN

3/16" = 1'-0"

NOTES :

1. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
2. PROVIDE LOW CONSUMPTION WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
3. ALL CONCENTRATED DRAINAGE INCLUDING ROOF WATER SHALL BE CONDUCTED TO THE STREET IN AN APPROVED DEVICE AT 2% MINIMUM.
4. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
5. CONSTRUCTION WASTE SHALL BE REDUCED BY 50%. CONTAINERS FOR WASTE AND RECYCLED MATERIAL MUST BE PROVIDED ON SITE AND CONTRACTOR TO VERIFY THAT WASTE AND RECYCLED MATERIAL WILL BE SEPARATED AND REMOVED BY CITY OF LOS ANGELES CERTIFIED HAULER.
6. MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE.

HARDSCAPE CALCULATIONS

DRIVEWAY (PAVERS) = 330.40 SQ. FT.
 WALKWAY (PAVERS) = 32.00 SQ. FT.
 REAR YARD (PAVERS) = 378.50 SQ. FT.
 SIDE YARDS (PAVERS) = 347.50 SQ. FT.
 TOTAL PAVERS = 1,088.40 SQ. FT.

(SEE PERMEABLE PAVERS DETAIL ON W-4 AND 12/AD-1)

TOTAL (MAIN ENTRY) HARDSCAPE = 56.13 SQ. FT.

25% OF HARDSCAPE (56.13 SQ. FT.) = 14.03 SQ. FT. REQUIRED

PROVIDED 1,088.40 SQ. FT.
1,088.40 SQ. FT. > 14.03 FT. = OK



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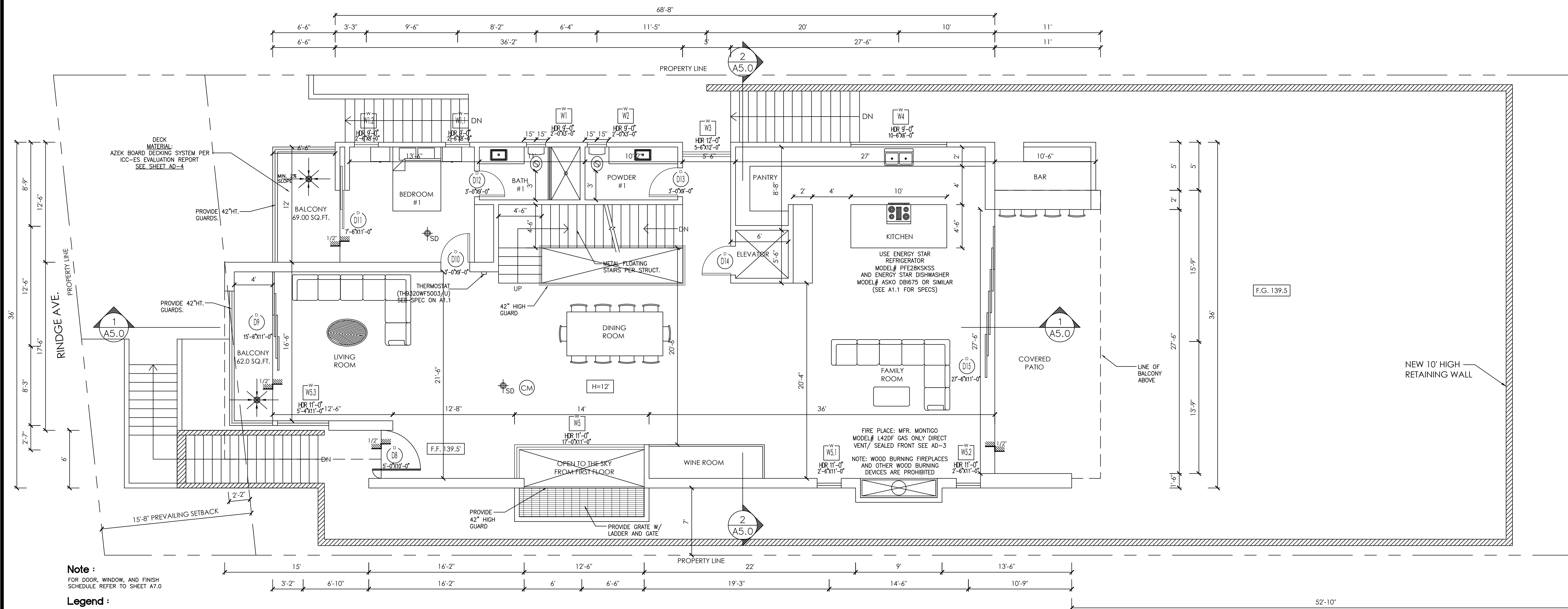
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NO.	REVISION/ISSUE	DATE

PROJECT
7346 S. RINDGE AVE.
PLAYA DEL REY, CA 90293

DRAWING TITLE
FIRST FLOOR PLAN

PROJECT	SHEET
DATE	A3.1
SCALE	DRAWN BY:
3/16"=1'-0"	P.A.



SECOND FLOOR PLAN

3/16" = 1'-0"

Note:
FOR DOOR, WINDOW, AND FINISH SCHEDULE REFER TO SHEET A7.0

Legend:
1. WALLS
2. 1HR. FIRE SEPARATION WALL. SEE DET. 6/AO-1
3. WASHER AND DRYER TO UNIT VENT DRYER TO OUTSIDE AS PER MFR. SPEC.
4. 5 MIN. AIR CHANGE FAN EXHAUST SYSTEM WITH 50 CFM HUMIDISTAT OPERABLE FROM LIGHT SWITCH. NEW INSTALLED BATHROOM EXHAUST FAN SHALL BE ENERGY STAR HUMIDISTAT CONTROLLED OF THE BUILDING. (9.506.1) COMPLIANT AND DUCTED TO TERMINATE TO THE OUTSIDE.
CM CARBON MONOXIDE
AREA DRAIN
5. HARD-WIRED SMOKE DETECTORS WITH A BATTERY BACKUP ARE REQUIRED IN ALL SLEEPING ROOMS AND HALLWAYS.
DETECTORS ARE ALSO REQUIRED ON THE 2ND FLOOR CEILING IN CLOSE PROXIMITY TO THE STAIRWAY.
FIRE PLACE: MFR. MONTIGO MODEL# L42DF CSA# 155432 GAS ONLY DIRECT VENT/ SEALED FRONT SEE AD-3
NOTE: WOOD BURNING FIREPLACES AND OTHER WOOD BURNING DEVICES ARE PROHIBITED

A. THE CONSTRUCTION SHALL NOT RESTRICT A FIVEFOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES—WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

B. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).

C. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).

D. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

E. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

F. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

G. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)

H. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)

I. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)

J. FOR EXISTING POOL ON SITE, PROVIDE ANTI ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B)

K. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)

L. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)

M. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)

N. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)

O. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE

OCUPANCY CLASSIFICATION
TOWNHOUSE:
1. TOWNHOUSES SHALL BE SEPARATED BY TWO 1-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLIES COMPLYING WITH THE REQUIREMENTS OF SECTION R302.1 FOR EXTERIOR WALLS. A COMMON 1-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLY IS PERMITTED IF SUCH WALLS DO NOT CONTAIN PLUMBING OR MECHANICAL EQUIPMENT, DUCTS OR VENTS IN THE CAVITY OF THE COMMON WALL (R302.2).
2. THE FIRE-RESISTANCE-RATED WALL SEPARATING TOWNHOUSES SHALL BE CONTINUOUS FROM THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING, DECK OR SLAB, AND EXTEND THE FULL LENGTH OF THE WALL OR ASSEMBLY (R302.2.1).
3. PARAPETS SHALL BE PROVIDED FOR TOWNHOUSES AS AN EXTENSION OF EXTERIOR WALLS OR COMMON WALLS. PARAPETS SHALL EXTEND NOT LESS THAN 30 INCHES ABOVE THE ROOF SURFACE OR MEET THE CRITERIA IN SECTION R302.2.2 FOR PARAPET ALTERNATIVES (R302.2.3).
4. EACH INDIVIDUAL TOWNHOUSE SHALL BE STRUCTURALLY INDEPENDENT EXCEPT WHERE THE SEPARATION IS PROVIDED BY A COMMON 1-HOUR FIRE-RESISTANCE-RATED WALL, EXTERIOR SHEATHING, WALL COVERING AND ROOFING ARE EXEMPT FROM THE PROVISIONS REQUIRING STRUCTURAL INDEPENDENCE (R302.2.4)

GARAGE/ CARPORTS
1. THE PROPOSED BUILDING IS A GARAGE AND NOT ACARPORT SINCE IT IS NOT OPEN AT LEAST 2 SIDES. (R309.2)
2. OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES ARE NOT PERMITTED (R302.5.1).
3. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1-3/8 INCHES THICK. (R302.5.1)

4. THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH TABLE R302.6 (R302.6).

5. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.5.2).

BUILDING HEIGHT LIMITATION
1. PROVIDE CALCULATIONS FOR ESTABLISHING GRADE PLANE AS PER SECTION R201. ATTACH CALCULATIONS AND IDENTIFY ESTABLISHED GRADE PLANES ON ELEVATIONS PLANS AND SITE PLAN. (R201)
2. SHOW MAXIMUM HEIGHT OF THE STRUCTURE (IN FEET AND STORY) FROM AVERAGE HEIGHT OF HIGHEST ROOF SURFACE TO GRADE PLANE ON ALL ELEVATION VIEWS. (R201)
3. LOWEST LEVEL IS DETERMINED NOT TO BE A BASEMENT. THIS LEVEL IS CONSIDERED AS 1ST STORY ABOVE GRADE PLANE. INCLUDE THIS STORY IN TOTAL BUILDING HEIGHT. (R201)

FIRE-RESISTANCE RATED CONSTRUCTION
1. PROVIDE 1-HR FIRE-RESISTANCE EXTERIOR WALLS IF FIRE SEPARATION DISTANCE IS: LESS THAN 5' [T-R302.1(1)] , OR LESS THAN 3' IF THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION R313. [T-R302.1(2)]
2. SHOW HOW 1-HR FIRE-RESISTANCE IS BEING PROVIDED.
3. OPENINGS ARE NOT ALLOWED WITHIN 3/5' FIRE SEPARATION DISTANCE. [T-R302.1(1) & T-R302.1(2)]
4. MAXIMUM 25% OPENING AREA IS ALLOWED WHEN THE FIRE SEPARATION DISTANCE IS >3' AND <5'. (T-R302.1(1))

5. PROJECTIONS BEYOND THE EXTERIOR WALL SHALL COMPLY WITH TABLE R302.1 AND SHALL NOT EXTEND:
a. TO A POINT CLOSER THAN 2 FEET FROM INTERIOR LOT LINE.
b. MORE THAN 4 INCHES AT THE ROOF EAVE FOR DETACHED GARAGES ACCESSORY TO A DWELLING WHEN LOCATED WITHIN 2 FEET OF A LOT LINE.
c. OVER THE LOT LINE FOR ACCESSORY STRUCTURES THAT ARE EXEMPT FROM PERMITS.
6. DWELLING UNITS IN TWO-FAMILY DWELLINGS SHALL BE SEPARATED FROM EACH OTHER BY WALL AND/OR FLOOR ASSEMBLIES HAVING NOT LESS THAN A 1-HR FIRE-RESISTANCE RATING WHEN TESTED IN ACCORDANCE WITH ASTM E 119 OR UL 263. PROVIDE COMPLETE DETAILS (R302.3)
7. THROUGH PENETRATIONS OF FIRE-RESISTANCE-RATED WALL OR FLOOR ASSEMBLIES SHALL COMPLY WITH SECTION R302.4.1.1 OR R302.4.1.2. PROVIDE DETAIL AND COPY OF LISTING ON THE PLANS. (R302.4.1)
8. MEMBRANE PENETRATIONS SHALL COMPLY WITH SECTION R302.4.1. WHERE WALLS ARE REQUIRED TO HAVE A FIRE RESISTANCE RATING RECESSED FIXTURES SHALL BE INSTALLED SO THAT THE REQUIRED FIRE-RESISTANCE RATING WILL NOT BE REDUCED. (R302.4.2)

FIRE PROTECTION
1. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. (R313, 12.21A17(D))
2. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.



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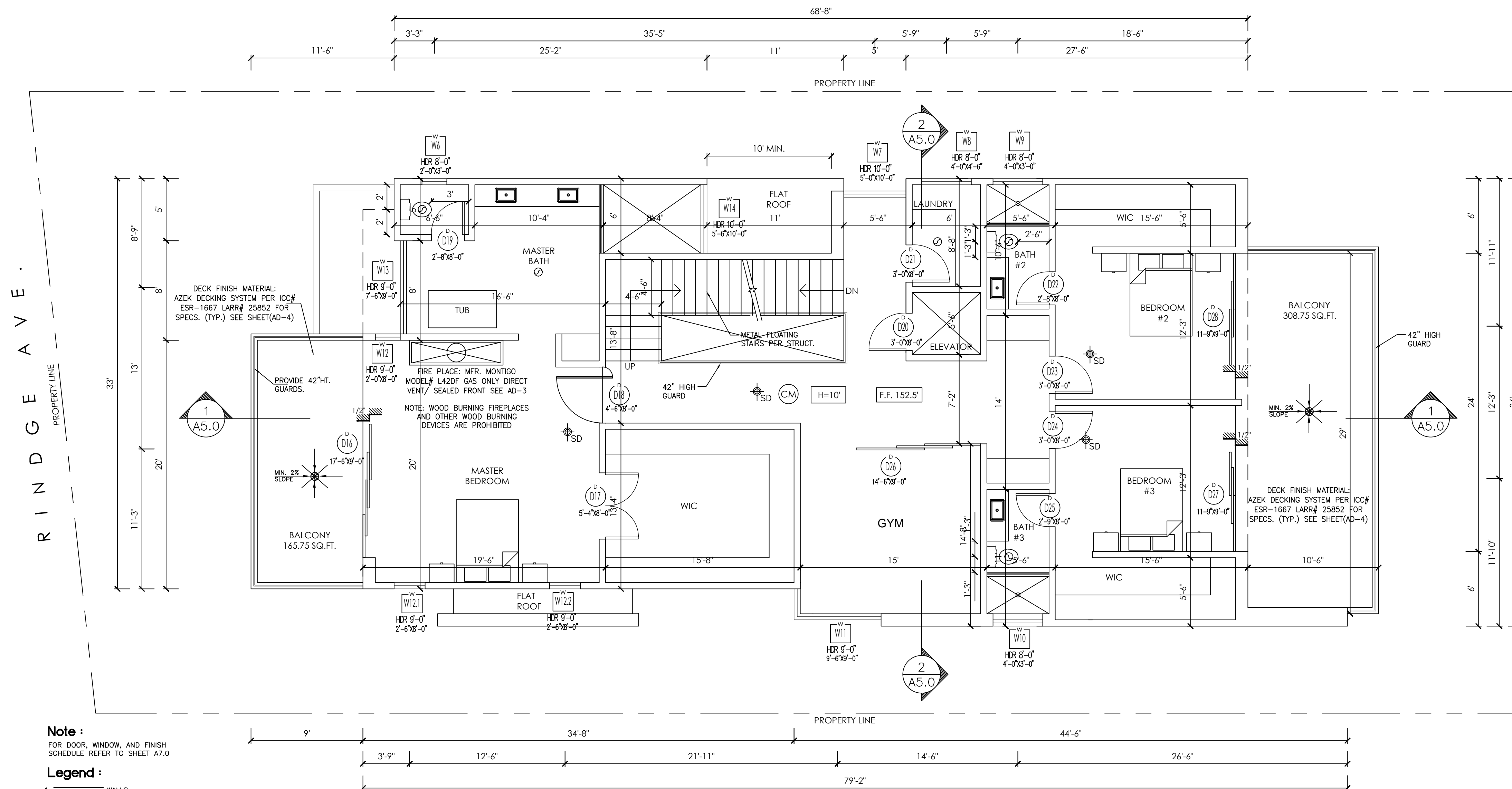
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Table with 3 columns: NO., REVISION/ISSUE, DATE

PROJECT 7346 S. RINDGE AVE. PLAYA DEL REY, CA 90293

DRAWING TITLE SECOND FLOOR PLAN

Table with 2 columns: PROJECT, SHEET, DATE, SCALE, DRAWN BY



THIRD FLOOR PLAN

3/16" = 1'-0"

Note: FOR DOOR, WINDOW, AND FINISH SCHEDULE REFER TO SHEET A7.0

- Legend: 1. WALLS, 2. 1HR. FIRE SEPARATION WALL, 3. WASHER AND DRYER TO UNIT VENT, 4. 5 MIN. AIR CHANGE FAN EXHAUST SYSTEM...

A. THE CONSTRUCTION SHALL NOT RESTRICT A FIVEFOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES...

F. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

K. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)

OCCUPANCY CLASSIFICATION TOWNHOUSE: 1. TOWNHOUSES SHALL BE SEPARATED BY TWO 1-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLIES...

4. THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH TABLE R302.6 (R302.6). 5. PROJECTIONS BEYOND THE EXTERIOR WALL SHALL COMPLY WITH TABLE R302.1...

5. PROJECTIONS BEYOND THE EXTERIOR WALL SHALL COMPLY WITH TABLE R302.1 AND SHALL NOT EXTEND: a. TO A POINT CLOSER THAN 2 FEET FROM INTERIOR LOT LINE. b. MORE THAN 4 INCHES AT THE ROOF EAVE...



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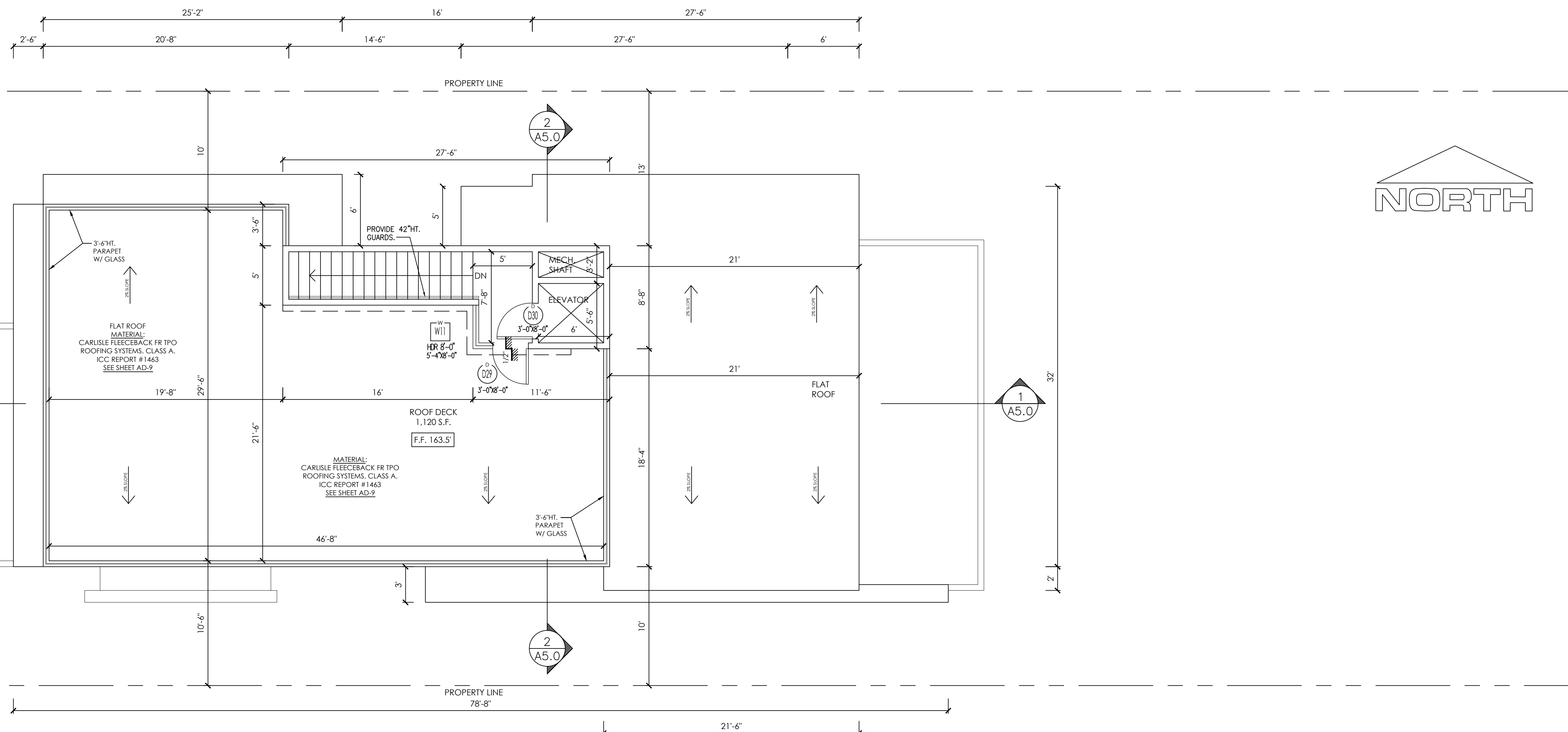
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NO. REVISION/ISSUE DATE

PROJECT
7346 S. RINDGE AVE.
PLAYA DEL REY, CA 90293

DRAWING TITLE
ROOF PLAN

PROJECT	SHEET
DATE	A4.0
SCALE	DRAWN BY:
3/16"=1'-0"	P.A.



RINDGE AVE.

ROOF PLAN

3/16" = 1'-0"

UPPER ROOF PLAN

3/16" = 1'-0"

Note :

- MINIMUM ROOF SLOPE OF 3/8" PER FOOT SHALL BE PROVIDED AT ANY POINT OF THE ROOF. PROVIDE UNIFORM SLOPE TOWARD DOWNSPOUTS AND/OR SCUPPERS AS INDICATED ON ROOF PLAN. (REFER TO DETAILS FOR DOWNSPOUTS AND SCUPPERS INCLUDED IN THIS DRAWINGS.)
- INSULATIONS SHALL BE INSTALLED AT BOTTOM OF JOISTS OR FRAMING UNDER ENTIRE ROOF. USE R-30 INSULATION WITH VAPOR BARRIER.
- CHECK & VERIFY LOCATIONS & EXACT SIZES OF ALL A/C EQUIPMENT, REQUIRED OPENINGS & SUPPORTS WITH A/C CONTRACTORS BEFORE FRAMING BEGINS. ANY REMWORKING REQUIRED TO ACCOMODATE EQUIPMENT IN QUESTION SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
- PAINT ALL ROOF EQUIPMENTS. ALL ROOF METAL SHALL RECEIVE TWO (2) COATS OF EXTERIOR SEMI GLOSS PAINT. VERIFY COLOR W/ARCHITECT.

- TELEVISION ANTENNA CROSSARMS OR OTHER ROOF OBSTRUCTIONS SHALL BE LOCATED 20'-0" MIN. FROM EDGE OF ROOF & 7'-0" MIN. ABOVE ROOF.
- PROVIDE ATTIC DRAFT STOPS AS REQUIRED (SEE ROOF PLAN & DETAILS). DRAFT STOPS SHALL DIVIDE ATTIC SPACES INTO AREAS NOT TO EXCEED 3,000 SQ. FT. PER UBC SEC.3205 (8). SEE DETAILS FOR WOOD & GYP. BOARD DRAFT STOPS. PROVIDE 2" X ___ WOOD FRAMING AS REQUIRED TO COMPLETE ITS CONSTRUCTION.
- PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE, STOVE OR BARBECUE.
- PROVIDE GRAVITY TYPE ATTIC VENTILATORS AT ROOF IF TRUSSES ARE NOT OF SOLID WEB CONSTRUCTION. WHEN ATTIC DRAFT STOP ARE REQUIRED PROVIDE TWO (2) ROOF GRAVITY VENTILATORS FOR EACH DIVISION.
- CONTRACTOR TO CONFIRM THAT ALL AREAS ARE PROVIDED WITH POSITIVE DRAINAGE PRIOR TO SHEATHING THE ROOF.
- CRICKET WITH 1/2" PLYWOOD OVER 2" X ___ SLEEPERS TYPICAL.
- THE ROOFS FOR THE MAIN BUILDING AND THE EXISTING BUILDING ARE TO BE INSPECTED BY A QUALIFIED ROOFING SPECIALIST TO VERIFY THAT:
 - ALL EXISTING ROOFING MATERIALS AND INSTALLATION METHODS HAVE BEEN PROPERLY INSTALLED AND MAINTAINED.
 - ASSOCIATED FLASHINGS AN SHEET METAL HAVE BEEN PROPERLY INSTALLED AND MAINTAINED.
 - THE ROOFS ARE TO BE FLOOD TESTED IN A MANNER APPROPRIATE TO THE TYPE EXISTING ROOFING SEE NOTE 12 BELOW.
 - ANY DEFICIENCIES OR LEAK CONDITIONS ARE TO BE CORRECTED TO INSURE A WATERTIGHT INSTALLATION FOR A PERIOD OF ONE YEAR FROM THE TIME OF PROJECT ACCEPTANCE BY THE TENNANT.
- ROOF FLOOD TEST TO BE CONDUCTED IN THE PRESENCE PROVIDE MIN. 96 HRS. NOTICE TO BOTH PARTIES.
- ATTIC NET VENTILATION AREA RATIO IS 1/150 OF ATTIC AREA VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY THE EAVE VENTS. OPENINGS SHALL HAVE 1/4 INCH CORROSION RESISTANT METAL MESH COVERING.
 - * PROVIDE RAIN GUTTERS AND CONVEY RAIN WATER TO THE STREET.

NOTE:

THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR PANEL".

EXCEPTION 7 TO SECTION 110.10(B)1A: SINGLE FAMILY RESIDENCES MEETING THE FOLLOWING CONDITIONS:
A. ALL THERMOSTATS COMPLY WITH REFERENCE JOINT APPENDIX JA5 AND ARE CAPABLE OF RECEIVING AND RESPONDING TO DEMAND RESPONSE SIGNALS PRIOR TO GRANTING OF AN OCCUPANCY PERMIT BY THE ENFORCING AGENCY.
B. COMPLY WITH ONE OF THE FOLLOWING MEASURES:
I. INSTALL A DISHWASHER THAT MEETS OR EXCEEDS THE ENERGY STAR PROGRAM REQUIREMENTS WITH EITHER A REFRIGERATOR THAT MEETS OR EXCEEDS THE ENERGY STAR PROGRAM REQUIREMENTS OR A WHOLE HOUSE FAN DRIVEN BY AN ELECTRONICALLY COMMUTATED MOTOR; OR II. INSTALL A HOME AUTOMATION SYSTEM CAPABLE OF, AT A MINIMUM, CONTROLLING THE APPLIANCES AND LIGHTING OF THE DWELLING AND RESPONDING TO DEMAND RESPONSE SIGNALS; OR
III. INSTALL ALTERNATIVE PLUMBING PIPING TO PERMIT THE DISCHARGE FROM THE CLOTHES WASHER AND ALL SHOWERS AND BATHTUBS TO BE USED FOR AN IRRIGATION SYSTEM IN COMPLIANCE WITH THE CALIFORNIA PLUMBING CODE AND ANY APPLICABLE LOCAL ORDINANCES; OR
IV. INSTALL A RAINWATER CATCHMENTS SYSTEM DESIGNED TO COMPLY WITH THE CALIFORNIA PLUMBING CODE AND ANY APPLICABLE LOCAL ORDINANCES, AND THAT USES RAINWATER FLOWING FROM AT LEAST 65 PERCENT OF THE AVAILABLE ROOF AREA.

(SEE SHEET A1.1 FOR MORE INFORMATION)



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OFFICE 818.922.2395

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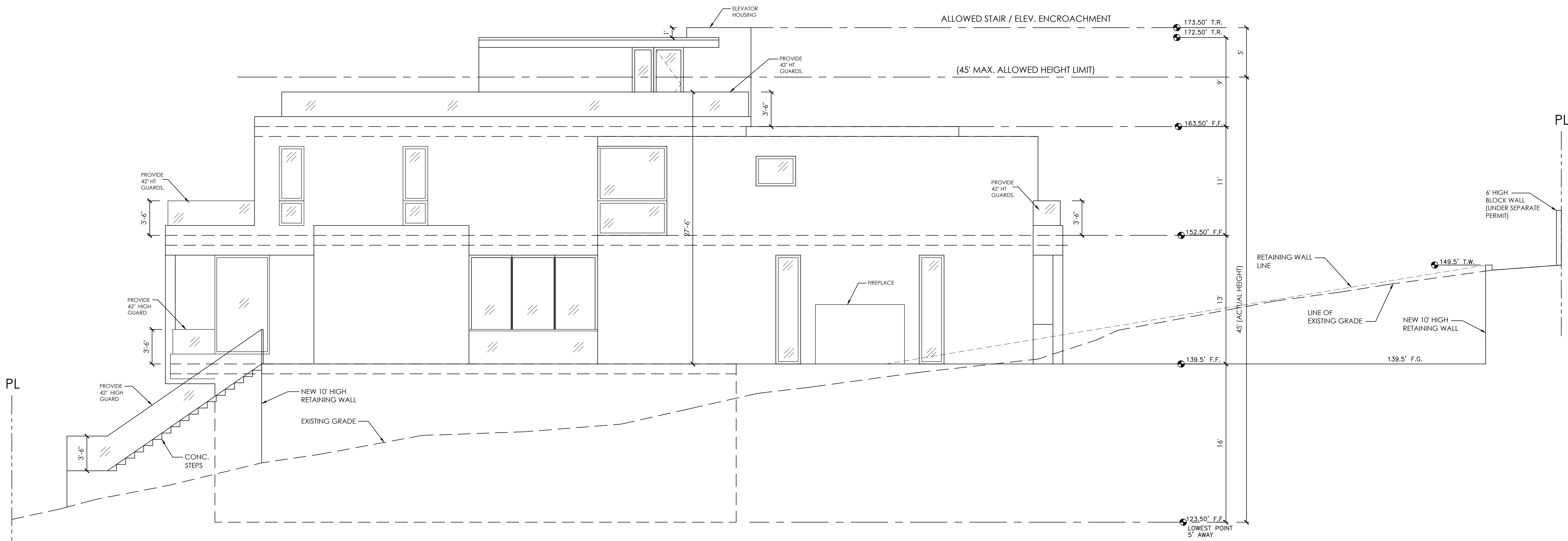
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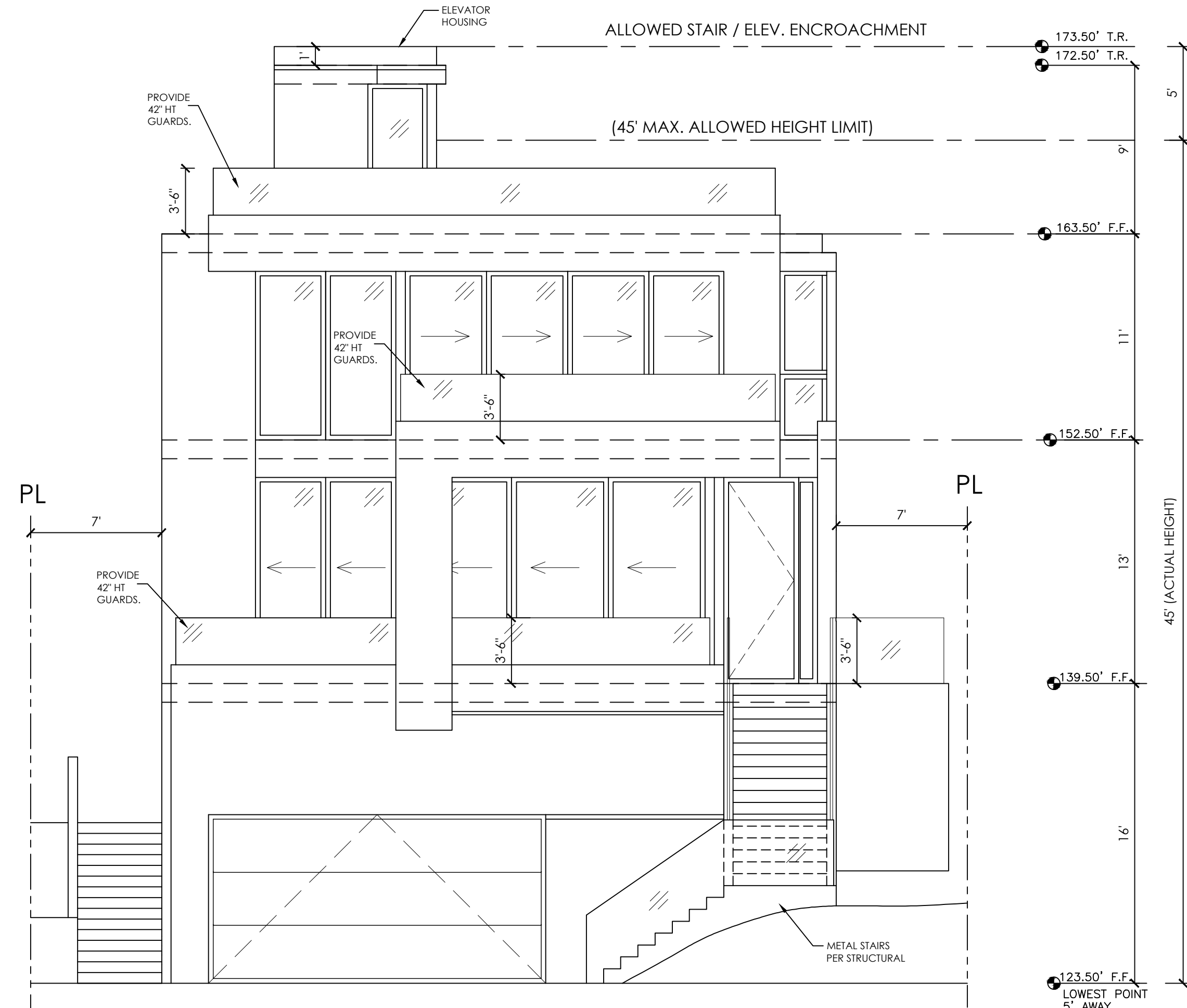
DRAWING TITLE
ELEVATIONS

PROJECT	SHEET
DATE	A6.0
SCALE	DRAWN BY:
3/16"=1'-0"	P.A.



SOUTH ELEVATION

3/16" = 1'-0"



WEST ELEVATION

3/16" = 1'-0"



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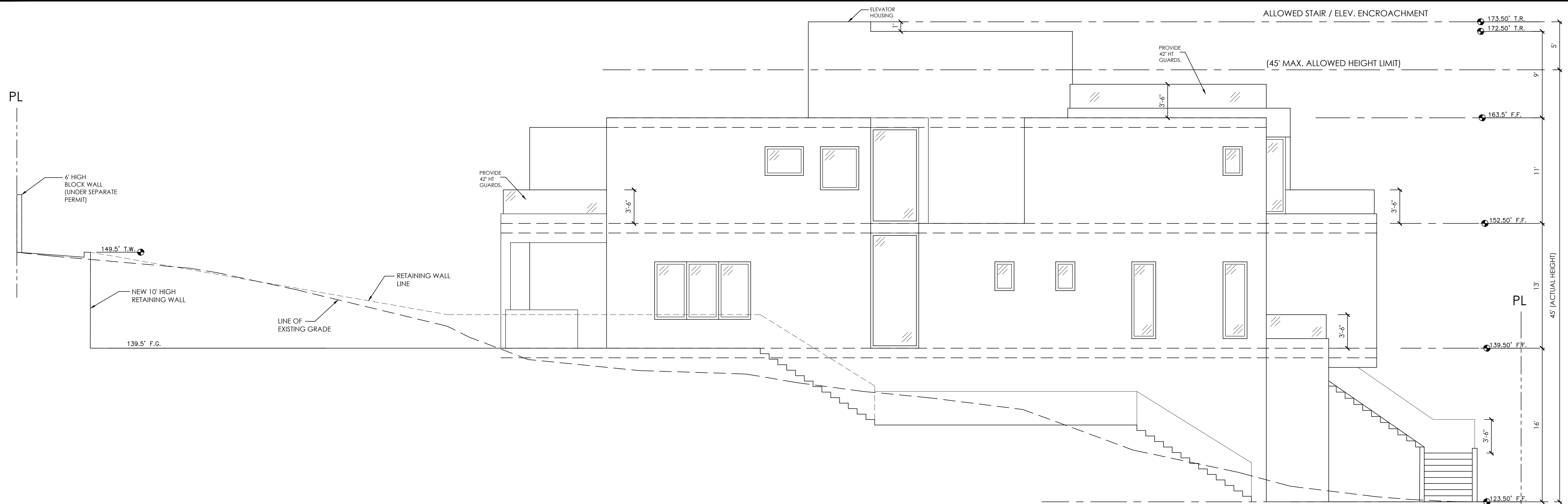
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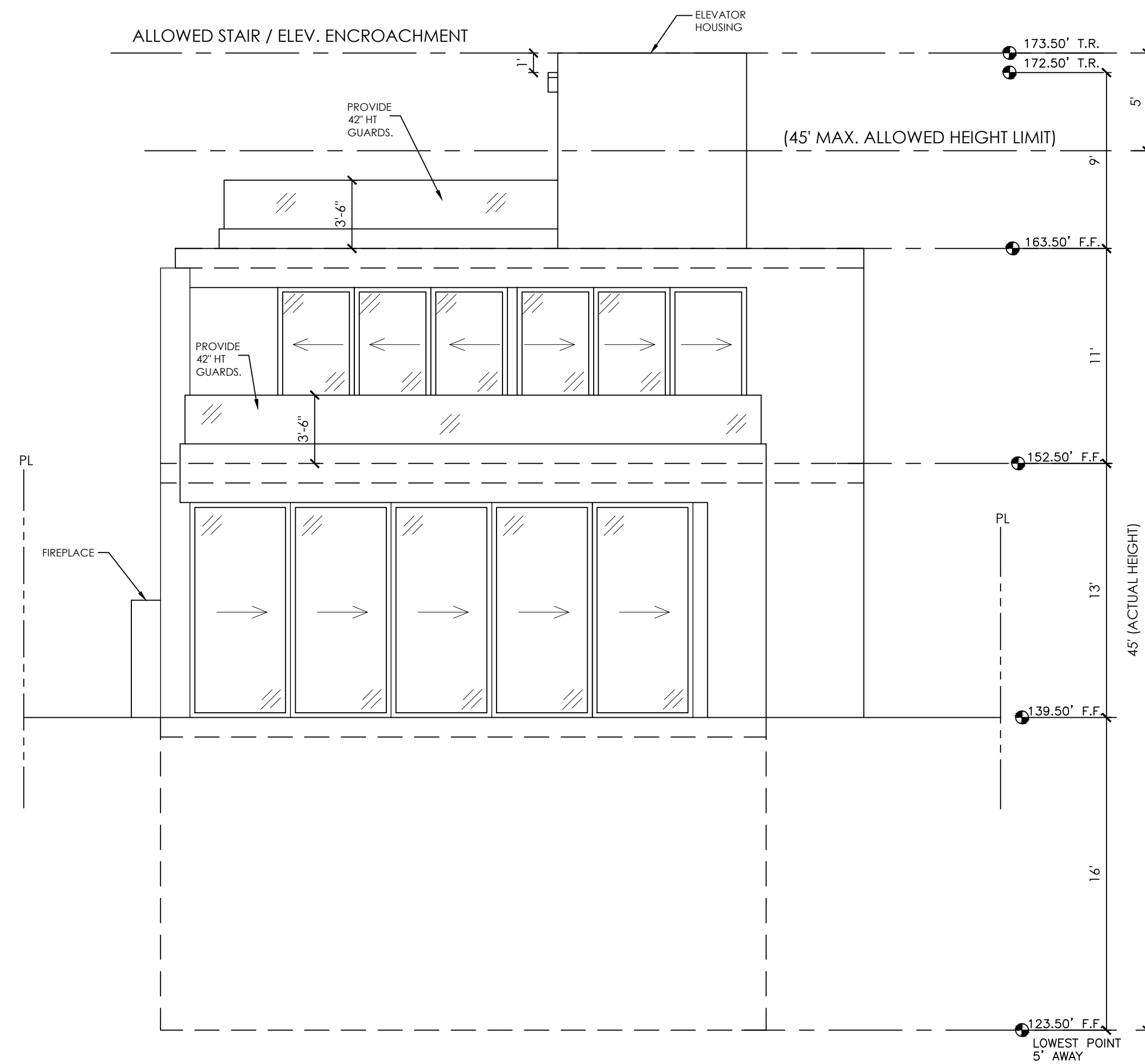
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ELEVATIONS

PROJECT	SHEET
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SCALE	DRAWN BY:
3/16"=1'-0"	P.A.



NORTH ELEVATION

3/16" = 1'-0"



EAST ELEVATION

3/16" = 1'-0"